

Council Assessment Panel Meeting Agenda



Monday, 4 March 2019, at 5.30 pm, Colonel Light Room, Town Hall, Adelaide.

Presiding Member – Mr John Hodgson

Acting Presiding Member – Councillor Anne Moran

Specialist Members – Mr Ross Bateup, Mr Heath Edwards and Prof Mads Gaardboe

1. Confirmation of Minutes – 11/2/2019 [CAP]

That the Minutes of the meeting of the City of Adelaide Council Assessment Panel held on 11 February 2019, be taken as read and be confirmed as an accurate record of proceedings.

2. Non-Complying Application - Nil

3. Applications for consideration on Merit

3.1 Subject Site Terrace Nursing Home, 85-89 Jeffcott Street, North Adelaide SA 5006 [Page 3]

Application No. DA/429/2017

Proposal Convert existing detached dwelling to a residential flat building comprising two dwellings involving partial demolition of the existing dwelling, construction of a two (2) storey rear addition with balconies, conservation works to front fence and internal and external alterations

Recommendation Development Plan Consent be GRANTED

3.2 Subject Site Land, 223 Childers Street, North Adelaide SA 5006 [Page 95]

Application No. DA/1040/2018

Proposal Construct two (2) storey detached dwelling

Recommendation Development Plan Consent be GRANTED

3.3 Subject Site Development Site, 51-57 Hutt Street, Adelaide SA 5000 [Page 126]

Calvary Wakefield Hospital, 282 - 300 Wakefield Street, Adelaide SA 5000

Wakefield Hospital – 28 Car Parks – 14 -20 Ifould Street, Adelaide SA 5000

Application No. DA/998/2018

Proposal Undertake works and use vacant land at Development Site, 51-57 Hutt Street, Adelaide SA 5000 as ancillary car parking to the Calvary Wakefield Hospital located at 282 – 300 Wakefield Street

Recommendation Development Plan Consent be GRANTED

4. Other Application - Nil

5. Other Business

5.1 List of Recent Lodgements for Planning Consent (2017/02505) [Page 159]

5.2 Other Business

6. **Exclusion of the Public from attendance to Receive, Discuss or Consider Information/Matter on a Confidential Basis (If required)**
7. **Confidential Matters (If any)**
8. **Closure**

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CITY OF ADELAIDE COUNCIL ASSESSMENT PANEL ON 4/3/2019

Item No	3.1
Address	Terrace Nursing Home, 85-89 Jeffcott Street, North Adelaide 5006
Proposal	Convert existing detached dwelling to a residential flat building comprising two dwellings involving partial demolition of the existing dwelling, construction of a two (2) storey rear addition with balconies, conservation works to front fence and internal and external alterations (DA/429/2017 – SG) [CAP]
Applicant	Mr D. P. Schirripa and Ms R. J. Schirripa
Relevant Development Plan	20 June 2017
Lodgement Date	7 July 2017
Zone / Policy Area	North Adelaide Historic (Conservation) Zone - Carclew Policy Area 5
Public Notification	Category 2
Application Type	Application Assessed on Merit
Delegations Policy	Unresolved Representations
Recommendation	Development Plan Consent Be GRANTED

ATTACHMENTS

Plans and Supporting Information

- Proposal Plans 1 - 10
- Certificate of Title 11 - 12
- Heritage Impact Statement 13 - 63

Comments from Public Notification 64 - 66

Applicant Response to Representations 67 - 71

PERSONS SPEAKING BEFORE THE PANEL

Representors

- Mr James and Mrs Catherine Harvey – 95 Jeffcott Street, North Adelaide
- Mr Matthew Clarke – 81 Jeffcott Street, North Adelaide

Applicant

- Mr Matthew King of Urban and Regional Planning Solutions on behalf of the Applicant

1. DESCRIPTION OF PROPOSAL

- 1.1 Planning consent is sought to convert an existing detached dwelling to a residential flat building comprising two dwellings involving partial demolition of the existing dwelling, construction of a two (2) storey rear addition with balconies, conservation works to front fence and internal and external alterations at 85-89 Jeffcott Street, North Adelaide.
- 1.2 'Residence 1' will utilise the front entrance of the original building, central corridor and original staircase. 'Residence 2' will incorporate a new entrance on the southern side of the original building that will provide access directly into the rear addition.
- 1.3 The proposed two storey addition will have a maximum height to the ridge of the roof of 10.7 metres above ground level together with an upper level ceiling height of 8.2 metres.
- 1.4 A total building floor area of 403m² is proposed for both residence 1 and 2.
- 1.5 The balconies at upper floor level will be located between the rear of the addition and the rear boundary of the property.
- 1.6 A car turn table and two car stacker systems are proposed at ground level to the rear of the site under the balconies.
- 1.7 External alterations including conservation works are also proposed to the listed building, including repointing, balcony balustrade repairs and the installation of a glass partition wall to the balcony facing Jeffcott Street.
- 1.8 The existing front fence will be retained with no new openings created and conservation works undertaken. Accordingly, residence 1 and 2 will share the existing single gate access to Jeffcott Street.

2. DEVELOPMENT DATA

DESIGN CHARACTERISTICS	GUIDELINE	PROPOSED
Site area 531m²		
Plot ratio	1.0 531m ²	0.75 403m ²
Building height		
- Storeys	2 storeys	2 storeys
- Metres (ceiling height)	6 metres (max)	8.2 metres
Private Open Space (POS)		
- % of total site area or m ²	20% (106m ²)	16% (88m ²)
- Dimensions	Min 2.5m	> 2.5m
Landscaped Open Space (LOS)		
- % of total site area	50% (265.5m ²)	33% (180m ²)
Street frontage width (metres)	18 metres	15.24 metres
Car parking and Access		
- Number of spaces	Residence 1 2 spaces Residence 2 1 space	Residence 1 2 spaces Residence 2 2 spaces

3. BACKGROUND

- 3.1 This application has been subject to a number of amendments since lodgement. These have primarily focused on the heritage detailing proposed for the front façade and the front fence, the overall appearance of the alterations from Jeffcott Street and the privacy screening for the rear deck.

4. SITE

- 4.1 The subject site is located on the western side of Jeffcott Street, approximately 35 metres south of the intersection between Jeffcott Street and Ward Street.
- 4.2 The site has a frontage to Jeffcott Street of approximately 15.24 metres, a northern boundary length of 39.7 metres and a southern boundary length of 39.8 metres. It has an area of approximately 531m².
- 4.3 The site is subject to rights of way over the land marked A and B. Together these provide access from the rear of the site to Ward Street. The rights of way vary between 3 metres and 6 metres in width.
- 4.4 The site is occupied by a two storey bluestone villa that was constructed between 1882 and 1883. This villa is listed as a Local Heritage Place.
- 4.5 There are no significant or regulated trees located on the subject site.

5. LOCALITY

- 5.1 The locality incorporates residential land uses with a mix of single and two storey buildings. A number of the dwellings in the locality are State or Local Heritage Places.
- 5.2 Dwellings in the locality have varying front setbacks. To the rear of sites, setbacks vary substantially, with some buildings located close to rear and side boundaries and others having more substantial setbacks.
- 5.3 Built form adjacent the right of way to the rear is more substantial, with a number of two storey dwellings constructed to the boundaries of the right of way.
- 5.4 In summary, the locality has a mixed residential character with a range of architectural styles and materials and varying front and side boundary setbacks.



KEY






	Subject Site		Local Heritage Place
NAH(C)5	North Adelaide Historic (Conservation) Zone/ Carclew Policy Area 5		State Heritage Place
PL16	Park Lands Zone/Golf Links Policy Area 16		Policy Area Boundary
R	Representor		Locality

Photo 1 – Subject site, viewed from Jeffcott Street



Photo 2 – Rear of subject site, viewed from Right of Way



Photo 3 – State Heritage Place, Former Christ Church (81 Jeffcott Street) located south of the subject site



Photo 4 – Local Heritage Place (95 Jeffcott Street), located north of the subject site



Photo 5 – Existing development located to the rear of the subject site



6. **PUBLIC NOTIFICATION**

- 6.1 Please note: Category 2 representations are only 'valid' and taken into account if the representor has been directly notified in writing, by Council, of the development. Only valid Category 2 representations are afforded the opportunity to be heard by the Council Assessment Panel. This is in accordance with legislation and a resolution of Council on 27 June 2017.

Category of Notification	Category 2
Representations Received – 2	<ul style="list-style-type: none"> Mr James and Mrs Catherine Harvey – 95 Jeffcott Street, North Adelaide Mr Matthew Clarke – 81 Jeffcott Street, North Adelaide

Summary of Representations	Applicant Response
<p>Overlooking into adjoining properties. Request decking be reduced in width by 1.2 metres from the northern boundary. A screen of at least 1.6 metres in height should be provided surrounding the deck. The screening with 25% openings and only 1.6 metres height is inadequate.</p> <p>Noise emitted from the proposed deck. Screening will not adequately decrease potential noise transfer. The car stacker is also a concern in terms of noise transfer.</p> <p>Proximity of development is likely to increase the risk of fire spreading between properties</p> <p>Reduced access to gutter which extends over property boundary at a height of approximately 4.2 metres above ground level. Also concerned regarding vermin moving between the subject site and 95 Jeffcott Street.</p>	<p>The balcony screening initially complied with the Development Plan by having a height of 1.6 metres and incorporated openings of less than 25%. The amended plans maintain the same screening height however will now be of timber construction with no openings. This is sufficient to minimise direct overlooking in accordance with Council Wide PDC 36.</p> <p>Solid timber screening for the balcony is proposed and this will reduce noise transfer. The car stacker manufacturer has advised that noise generated by the stacker will be hydraulic power-pack and a noise protection package can be provided to minimise noise. The stacker will need to comply with the Environment Protection (Noise) Policy 2007.</p> <p>A private certifier has advised that the northern and southern boundary walls (to the rear balcony) must be constructed to a fire resistance level of not less than 60/60/60. These changes have been illustrated on the amended plans.</p> <p>The proposal will only restrict the maintenance of the representor's roof and gutter when accessing from the subject site. A section has been provided showing the location of the gutter in relation to the proposed balcony. The risk of vermin moving between the balcony and neighbouring site is low.</p>

<p>Has an accurate survey been undertaken to determine the southern boundary? The fence is currently located 400mm south of the boundary.</p> <p>Overshadowing resulting from a wall height of 7 metres adjacent the southern boundary.</p>	<p>The site has been surveyed. The survey plan provided with the application illustrates the wall of the building at 81 Jeffcott Street is constructed on the boundary. The representor is correct that the existing fence line between the two properties is not located on the boundary. A portion of the addition is to be constructed on the boundary. The location of this will be confirmed prior to construction to ensure there is no encroachment of the land at 81 Jeffcott Street.</p> <p>Shadow diagrams have been provided. The diagrams indicate that for 81 Jeffcott Street, there will be no change to the shading of any north facing habitable room windows and will retain sufficient sunlight to a substantial area of private open space throughout the winter solstice. The setback of the representor's dwelling from the southern boundary of the subject site is approximately 1.5 to 1.8 metres. Allowing for the eave overhang of 300mm, there will be a minimum setback of 1.2 metres. There will be sufficient setback of greater than 900mm provided in accordance with Council Wide PDC 25.</p>
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7. **REQUIRED EXTERNAL REFERRALS**

7.1 No external referrals required.

8. **SPECIALIST ADVICE**

8.1 **Local Heritage**

- The amended proposal addresses a number of the original heritage concerns and is now considered to be an improvement for the site.

8.2 **Traffic**

- No objection to the proposed development.

RELEVANT CITY OF ADELAIDE 2016-2020 STRATEGIC PLAN ACTIONS

Whilst an assessment against the Strategic Plan is not required, the Development Plan is informed by Council's Strategic Plan Objectives and Actions as below:

SMART	GREEN
<ul style="list-style-type: none"> • Develop and promote an international City brand that showcases the smart, liveable, green and cultural advantages of Adelaide 	<ul style="list-style-type: none"> • Improve energy performance and use of renewable energy in Council and privately-owned buildings, including consideration of solar heating, solar energy generation and battery storage • Work with private property owners and the State Government to embed better environmental performance into new and existing developments • Identify opportunities for building adaptation and re-use that supports heritage aspirations while reducing carbon emissions and waste • Work with all City stakeholders to increase public and private greening with street trees, gardens, community gardens, green walls and roofs, providing incentives where appropriate
LIVEABLE	CREATIVE
<ul style="list-style-type: none"> • Encourage growth in the full range of residential property development in a mixed-use environment in a manner that respects the human scale and different character of districts in the City • Promote and protect Adelaide's built character and heritage through our operations, incentives, policies and direct investment, while working with and advocating to Federal and State governments for an increase in City buildings protected under State or Local Heritage regulations 	<ul style="list-style-type: none"> • Increase public art and cultural expression in private development by using planning levers and requirements

9. DETAILED ASSESSMENT

9.1 Summary of Carclew Policy Area 5 Objectives & Principles

Subject DP Ref	Assessment	Achieved ✓ Not Achieved ✗
Desired Character	<ul style="list-style-type: none"> The two storey addition to the rear satisfies the desire for development of properties fronting Jeffcott Street to be low density. 	✓
Objectives O1 & 2	<ul style="list-style-type: none"> Consistent with the Desired Character. 	✓
Principles of Development Control P1-4, 6, 7	<ul style="list-style-type: none"> Residential flat buildings envisaged. Refer Section 9.4 - height Satisfies plot ratio requirement. Landscaped open space area of 180m² (33%). This does not satisfy the minimum 50% requirement but is acceptable as balconies will provide additional outdoor space. Refer Section 9.4 – allotment frontage width. The upper level is considered to be adequately designed and sited to not be readily visible from public streets. 	✗/✓

9.2 Summary of North Adelaide Historic (Conversation) Zone Objectives & Principles

Subject DP Ref	Assessment	Achieved ✓ Not Achieved ✗
Desired Character	<ul style="list-style-type: none"> In accordance with the range of single and two storey development in the area. 	✓
Objectives O1 & 2	<ul style="list-style-type: none"> Design, form and density consistent with the Desired Character for the Policy Area. 	✓
Land Use P2	<ul style="list-style-type: none"> Proposal increases the amount of residential accommodation by creating an additional dwelling within an existing building. 	✓
Heritage P1 & 3	<ul style="list-style-type: none"> Refer to Section 8.1. 	✓
Design and Appearance P4	<ul style="list-style-type: none"> The proposed extension will incorporate rendered brick walls, colorbond roof sheeting and a timber deck with screening. A mix of white, grey and black tones are proposed and will not be brightly coloured. 	✓
Fencing P16	<ul style="list-style-type: none"> Refer Section 9.4 	✓
Building Height P7	<ul style="list-style-type: none"> Refer to Policy Area PDC 3 assessment. 	✗
Setbacks P9	<ul style="list-style-type: none"> The proposed extension and balcony will have a similar setback to the neighbouring buildings to the south and north. 	✓
Access and Car parking P17	<ul style="list-style-type: none"> Vehicle access is proposed to be retained via the rights of way to the rear of the property which link to Ward Street. 	✓

9.3 Summary of Council Wide Objectives & Principles

Subject	Assessment	Achieved ✓ Not Achieved ✗
DP Ref		
Housing Choice O6 P5 & 9	<ul style="list-style-type: none"> Will add to the variety of housing types. Proposal complements and does not dominate the Local Heritage Place or surrounding properties. 	✓
LOW SCALE RESIDENTIAL DEVELOPMENT		
Building Appearance & Neighbourhood Character O11-12 P17-21	<ul style="list-style-type: none"> Visual bulk of the proposed addition minimised through articulation of the facades, variation in building materials and the use of white, grey and black tones. 	✓
Dwelling Setbacks O13 P22	<ul style="list-style-type: none"> Refer Section 9.2 - Zone PDC 9 assessment. 	✓
Daylight & Sunlight O15 P25-28	<ul style="list-style-type: none"> Shadow diagrams have been provided which demonstrate that only minimal additional overshadowing of the neighbouring property to the south will occur. 	✓
Private Open Space O16 P29-34	<ul style="list-style-type: none"> Private open space area of 88m² (16%) proposed which is less than the minimum 20% required. The private open space will take advantage of access to sunlight and is only slightly under the minimum requirement. 	✗/✓
Visual & Acoustic Privacy O17 P35-38	<ul style="list-style-type: none"> Refer to Section 9.4. 	✓
Adaptability P39	<ul style="list-style-type: none"> Achieved. 	✓
Carports, Garaging & Fencing O18-19 P40-42	<ul style="list-style-type: none"> Access to be provided from Ward Street (via rights of way to the rear of the site). The car stackers are proposed under the balcony for residence 2 and adjacent to a solid wall on the southern boundary. 	✓
On-Site Parking & Access O20 P44-45	<ul style="list-style-type: none"> Two (2) car parks are proposed for each dwelling which exceeds the requirements in Table Adel/7. 	✓
ENVIRONMENTAL		

Noise Emissions O26 P93	<ul style="list-style-type: none"> Refer to Section 9.4. 	✓
Waste management O28 P101-104	<ul style="list-style-type: none"> There is sufficient area at ground level that can be dedicated for the storage of waste bins. 	✓
Energy Efficiency O30 P106-112 Residential Development P113-114	<ul style="list-style-type: none"> Balconies and pergolas proposed over the balconies will assist in shading the western façades of each dwelling at both ground and upper levels. Natural cross ventilation will be possible by opening north, south, east and west facing windows to capture breezes. 	✓
Heritage & Conservation O42-44 P136-148	<ul style="list-style-type: none"> Refer to Section 8.1 and Applicant's Heritage Impact Statement. 	✓
Heritage & Conservation – North Adelaide General P149-155 Fencing, Garages, Carports & Outbuildings 159 Land Division P160-161 Development Adjacent a Heritage Place P162-166	<ul style="list-style-type: none"> Refer to Section 8.1 and Applicant's Heritage Impact Statement. 	✓
Height, Bulk and Scale P168-174	<ul style="list-style-type: none"> Refer to Section 9.4. 	✗
Materials, Colours & Finishes P187-190	<ul style="list-style-type: none"> The use of a rendered brick surface and colorbond roof sheeting will make references to traditional materials evident in buildings within the locality. Low light reflective rendered surfaces, painted in white, grey and black tones will articulate facades and result in a built form that does appear out of context. 	✓

Landscaping O55 P207-210	<ul style="list-style-type: none"> Landscaping is proposed to be retained in the front yard and located in planters on the balcony. 	✓
Traffic and vehicle access O68-70 P241-250	<ul style="list-style-type: none"> Achieved. Refer to Section 8.2 – Traffic Comments. 	✓
Car parking O71-72 P251-265	<ul style="list-style-type: none"> Achieved. 	✓

9.4 Detailed Discussion

Height

The proposed two storey height of the extension is consistent with the height of other development in the locality including single and two storey additions constructed to the rear of Heritage Places.

The two storey height of the addition satisfies Carclew Policy Area 5 PDC 3 in terms of the number of building levels. However, a ceiling height of 8.2 metres above finished ground level is proposed and this is contrary to the maximum 6 metre ceiling height requirement.

The addition ceiling height exceeds the maximum requirement by 2.2 metres. Whilst the building will be higher than anticipated in Policy Area PDC 3, this is acceptable as the addition ceiling height will match the ceiling height of the existing Local Heritage Place. Furthermore, the addition will be located to the rear of the site, adjacent other similar two (2) storey development and will not result in detrimental overshadowing impacts.

Frontage Width

A land division application has not been lodged concurrently with this application. There is no minimum dwelling unit factor prescribed in Carclew Policy Area 5. However, Policy Area PDC 6 envisages a primary street frontage of at least 18 metres for sites with residential flat buildings. The subject site has an existing frontage of 15.24 metres.

Whilst the existing frontage of 15.24 metres does not satisfy the minimum requirement for a residential flat building, it is acceptable in this instance as the additional dwelling is proposed within an existing Local Heritage Place and will appear as a single dwelling when viewed from Jeffcott Street. Furthermore, vehicle access will not be provided to the site from Jeffcott Street and the minimum frontage width requirement allows for such access.

Fencing

Two fire rated blockwork walls are proposed at the rear of the site adjacent to both the southern and northern boundaries as follows:

- Southern boundary – height of 5.8 metres and extends 1.6 metres above the balcony floor level to ensure adequate screening for the property to the south. This wall will extend 2.8 metres above the existing 3 metre high wall of the neighbouring building located on the southern boundary.
- Northern boundary – height will extend to the floor level of the balcony. A 1.6 metre high solid timber screen will be constructed above this wall to ensure adequate screening for the property to the north.

Whilst both walls are relatively high, this is acceptable as the walls are proposed adjacent to existing built form located on both the neighbouring northern and southern properties.

The wall proposed on the southern boundary to the rear of the property is proposed where a fence is currently situated.

This wall will be setback 300mm from the neighbouring dwelling. The Applicant's Private Certifier has confirmed that this will be acceptable and will satisfy Building Code of Australia requirements.

Existing Gutter over Boundary

A representor raised concern regarding an existing gutter that extends from their property at 95 Jeffcott Street over the northern boundary of the subject site. This is shown on an excerpt from the survey plan in Figure 1 as 'neighbour eave'. The gutter extends into the subject site by 110mm. The applicant has provided an amended western elevation that demonstrates the balcony will be constructed to allow for this gutter to remain as shown in Figure 2. The gutter is also shown in Figure 3.

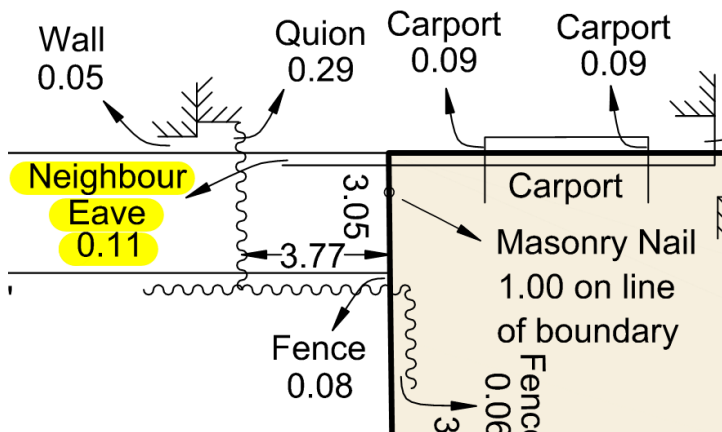


Figure 1 – Excerpt of survey showing gutter extending over subject site (highlighted)

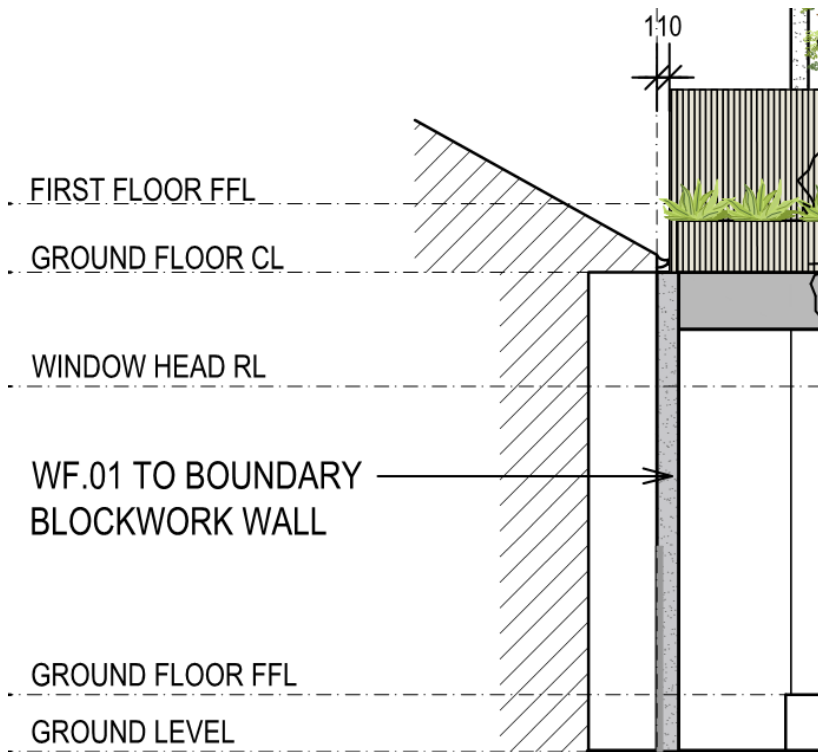


Figure 2 – Excerpt of west elevation showing gutter extending 110mm over subject land and development designed to accommodate this gutter



Figure 3 – Gutter at 95 Jeffcott Street extending over northern boundary of subject site

The applicant has demonstrated the existing gutter will be retained by locating the balcony timber privacy screen 110mm south of the boundary. Access to maintain this gutter will be the responsibility of the owners of 95 Jeffcott Street.

Visual Privacy

The proposal includes a rear balcony for each dwelling. The balconies will incorporate solid timber screening to a height of 1.6 metres above the floor level of each balcony. This timber screening is proposed to enclose the balconies on the western, southern and eastern sides. These screens will prevent overlooking to the neighbouring properties in accordance with Council Wide PDC 36 (Design Technique 36.2(b)(d)).

Whilst the floor level of the upper floors will be located 600mm above balcony level, the potential for overlooking will be mitigated by the solid balcony timber screening. This screening will interrupt sightlines into the neighbouring properties for persons standing inside near the bi-fold doors or on the steps and satisfies Council Wide Objective 17 and PDC 36.

Noise

A representor has raised concern regarding potential noise from the proposed car stackers adjacent the southern boundary.

The car stacker manufacturer has advised the noise generated by the stacker system would result from the hydraulic power-pack. The power-pack will be mounted on the ground as part of the system.

A noise protection package is expected to be provided by the manufacturer if deemed necessary. The hydraulic power-pack will be mounted adjacent to the fire rated wall and this is expected to provide sufficient noise attenuation.

A condition is proposed to ensure potential noise impacts are managed to the satisfaction of Council and in accordance with Council Wide Objective 26 and PDC 93.

9.5 **Conclusion**

This application proposes to convert an existing detached dwelling to a residential flat building comprising two dwellings involving partial demolition of the existing dwelling, construction of a two-storey addition and carport to rear, new front fence (located behind existing fence), along with internal and external alterations at the subject site.

The majority of the relevant Development Plan provisions are satisfied by the proposal and it is considered acceptable as it:

- Is for residential use which is desired in the North Adelaide Historic (Conservation) Zone and Carclew Policy Area 5;
- Is in keeping with the mix of single and two storey development in the locality;
- Will have a plot ratio of 0.75 is proposed in accordance with the maximum plot ratio of 1.0 stipulated in Carclew Policy Area 5 PDC 4;
- Provides 16% private open space area which is not significantly less than the minimum 20% required in Council Wide PDC 31;
- Will result in minimal overshadowing impacts and will satisfy Council Wide PDC 27;
- Has negligible heritage impacts, will be in keeping with surrounding development, is not expected to have an unreasonable impact upon the neighbouring Local and State Heritage Places and is supported by Council's Heritage Advisor; and
- Prevents overlooking opportunities from the balconies by the installation of 1.6 metre high solid timber screening which accords with Council Wide PDC 35.

The proposal is not considered to be seriously at variance with the provisions of the Development Plan as it proposes a land use and form of development that are generally desired in the Zone and Policy Area.

It has been determined that, on balance, the proposal warrants Development Plan Consent.

10. RECOMMENDATION

That the development, the subject of the application from Mr D. P. Schirripa and Ms R. J. Schirripa to convert existing detached dwelling to a residential flat building comprising two dwellings involving partial demolition of the existing dwelling, construction of a two (2) storey rear addition with balconies, conservation works to front fence and internal and external alterations at Terrace Nursing Home, 85-89 Jeffcott Street, North Adelaide SA 5006 as shown on plans designated DA/429/2017:

1. Is not seriously at variance with the provisions of the Development Plan and
2. Be GRANTED Development Plan Consent, subject to the following conditions and advices:

Conditions

1. **The Development shall be undertaken in accordance with the plans, drawings, specifications and other documents submitted to the Council that are relevant to the consent as listed below:**

Plans prepared by Alexander Brown Architects as follows:

- **Site Plan & Survey, DWG No. PL01.F, stamped received 30 January 2019**
- **Existing Floor Plans, DWG No. PL02.F, stamped received 30 January 2019**
- **Proposed Floor Plans, DWG No. PL03.P, stamped received 30 January 2019**
- **Existing Elevations, DWG No. PL04.E, stamped received 30 January 2019**
- **Proposed Elevations, DWG No. PL05.M, stamped received 30 January 2019**
- **Land Division/Private Open Space, DWG No. PL06.D, stamped received 30 January 2019**
- **Streetscape, DWG No. PL07.E, stamped received 30 January 2019**

to the reasonable satisfaction of the Council except where varied by conditions below (if any).

Reason: *To ensure that the Development is undertaken in accordance with the plans and details submitted.*

2. **External materials, surface finishes and colours of the Development shall be consistent with the descriptions hereby granted consent and shall be to the reasonable satisfaction of the Council.**

Reason: *To ensure a high standard of materials and finishes used in the finished presentation of the Development.*

3. **The solid timber privacy screening for the balconies as depicted on the plans granted consent described as Proposed Floor Plans DWG No. PL03.P, stamped received 30 January 2019 and Proposed Elevations DWG No. PL05.M, stamped received 30 January 2019, shall be installed prior to the occupation or use of the Development and thereafter shall be maintained to the reasonable satisfaction of the Council at all times.**

Reason: *To ensure that the Development does not unreasonably diminish the privacy of residents in adjoining properties.*

4. **The applicant or the person having the benefit of this consent shall ensure that all storm water run off from the development herein approved is collected and then discharged to the storm water discharge system. All down pipes affixed to the Development which are required to discharge the storm water run off shall be installed within the property boundaries of the Land to the reasonable satisfaction of the Council.**

Reason: *To ensure that stormwater runoff does not have an adverse impact upon the public realm.*

5. **All mechanical machinery associated with the car stackers shall not exceed 50dB(A) during daytime (7am to 10pm) and 40dB(A) during night time (10pm to 7am) when measured and adjusted in accordance with the relevant environmental noise legislation in operation and that is applicable to the Land except where it can be demonstrated that a high background noise exists in which case such noise levels shall be to the reasonable satisfaction of the Council at all times.**

Reason: *To protect the amenity of neighbouring properties.*

Advices

1. Development Approval will not be granted until Building Rules Consent has been obtained. A separate application must be submitted for such consent. No building work or change of classification is permitted until the Development Approval has been obtained.
2. Pursuant to the provisions of Regulation 48 under the Development Act 1993, this consent / approval will lapse at the expiration of 12 months from the operative date of the consent / approval unless the relevant development has been lawfully commenced by substantial work on the site of the development within 12 months, in which case the approval will lapse within 3 years from the operative date of the approval subject to the proviso that if the development has been substantially or fully completed within those 3 years, the approval will not lapse.
3. It is recommended that as the applicant is undertaking work on or near the boundary, the applicant should ensure that the boundaries are clearly defined, by a Licensed Surveyor, prior to the commencement of any building work.
4. No on-street residential parking permits will be issued for use by occupants of, or visitors to, the development herein approved (unless the subject site meets the relevant criteria).
Please contact Customer Centre on 8203 7203 for further information.
5. Any activity in the public realm, whether it be on the road or footpath, requires a City Works Permit. 48 hours' notice is required before commencement of any activity.

The City Works Guidelines detailing the requirements for various activities, a complete list of fees and charges and an application form can all be found on Council's website at www.cityofadelaide.com.au

When applying for a City Works Permit you will be required to supply the following information with the completed application form:

- A Traffic Management Plan (a map which details the location of the works, street, property line, hoarding/mesh, lighting, pedestrian signs, spotters, distances etc.);
- Description of equipment to be used;
- A copy of your Public Liability Insurance Certificate (minimum cover of \$20 Million required);
- Copies of consultation with any affected stakeholders including businesses or residents.

Please note: Upfront payment is required for all city works applications.

Applications can be lodged via the following:

Email: cityworks@cityofadelaide.com.au
 Fax: 8203 7674
 In Person: 25 Pirie Street, Adelaide

Item No. 3.1 – Attachments 1 – 71 (Terrace Nursing Home, 85-89 Jeffcott Street, North Adelaide 5006)
Pages 24 to 94

ATTACHMENTS

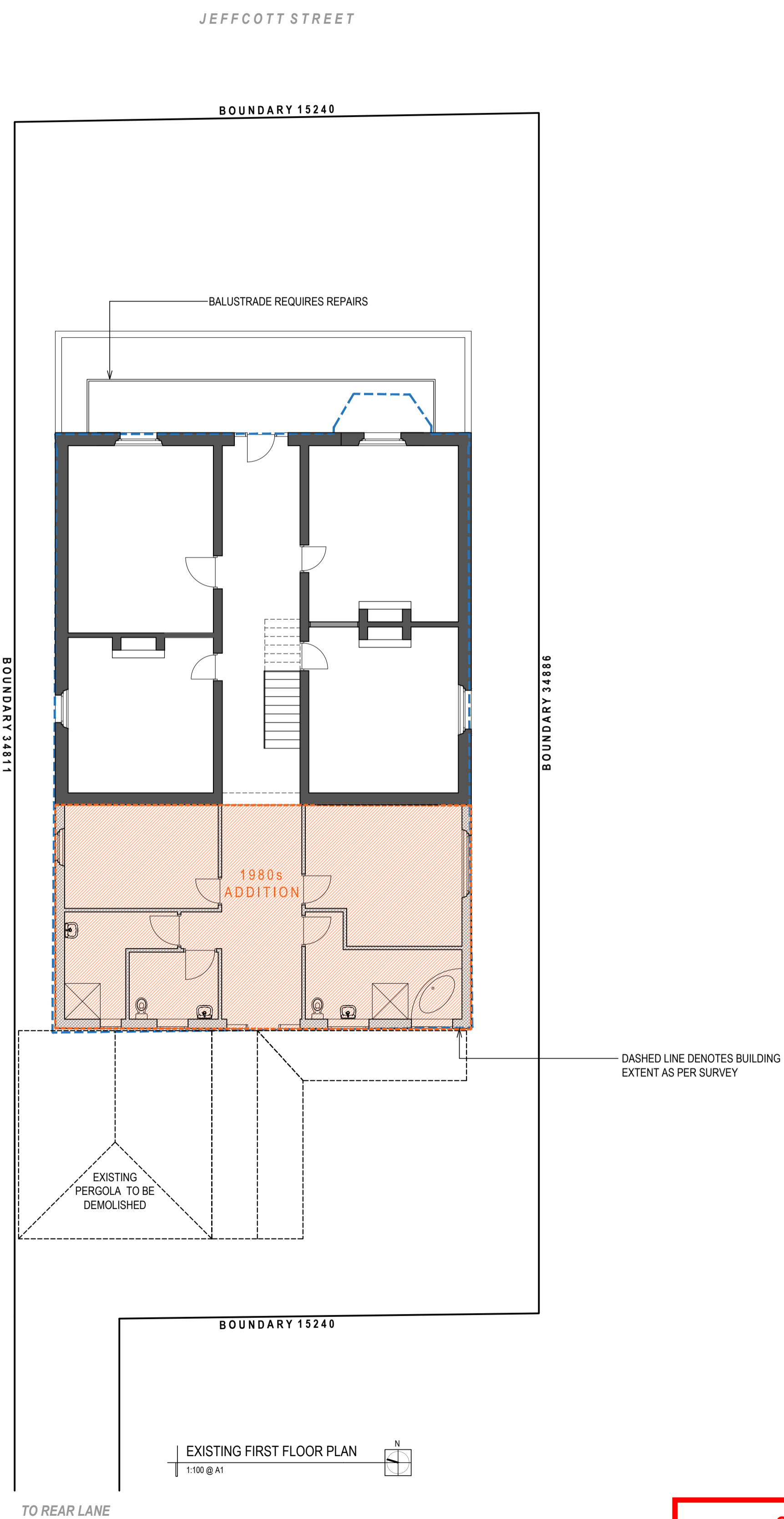
Plans and Supporting Information

- Proposal Plans 1 - 10
- Certificate of Title 11 - 12
- Heritage Impact Statement 13 - 63

Comments from Public Notification 64 - 66

Applicant Response to Representations 67 - 71

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F	01.02.2018	ISSUE FOR APPROVAL
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C	25.10.2017	ISSUE FOR CLIENT
B	01.06.2017	ISSUED FOR APPROVAL
A	05.04.2017	PRELIMINARY

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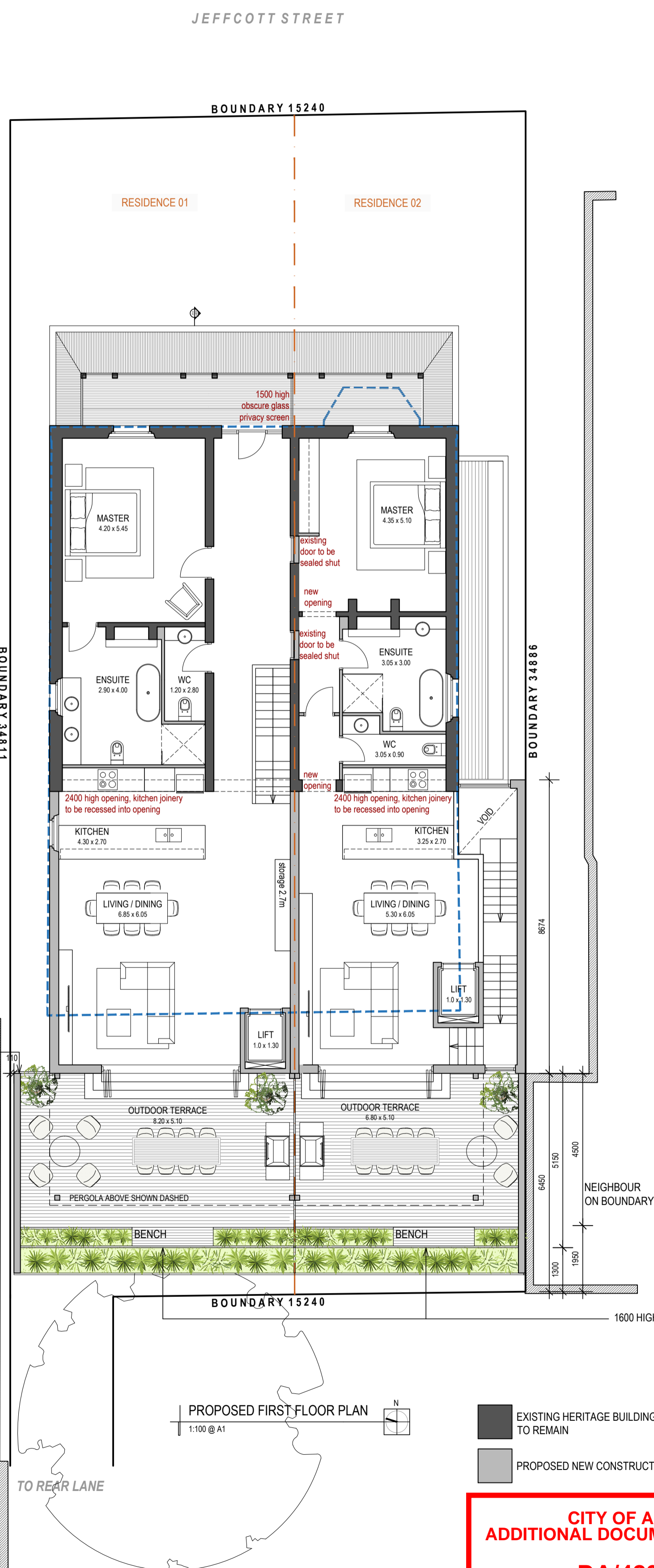
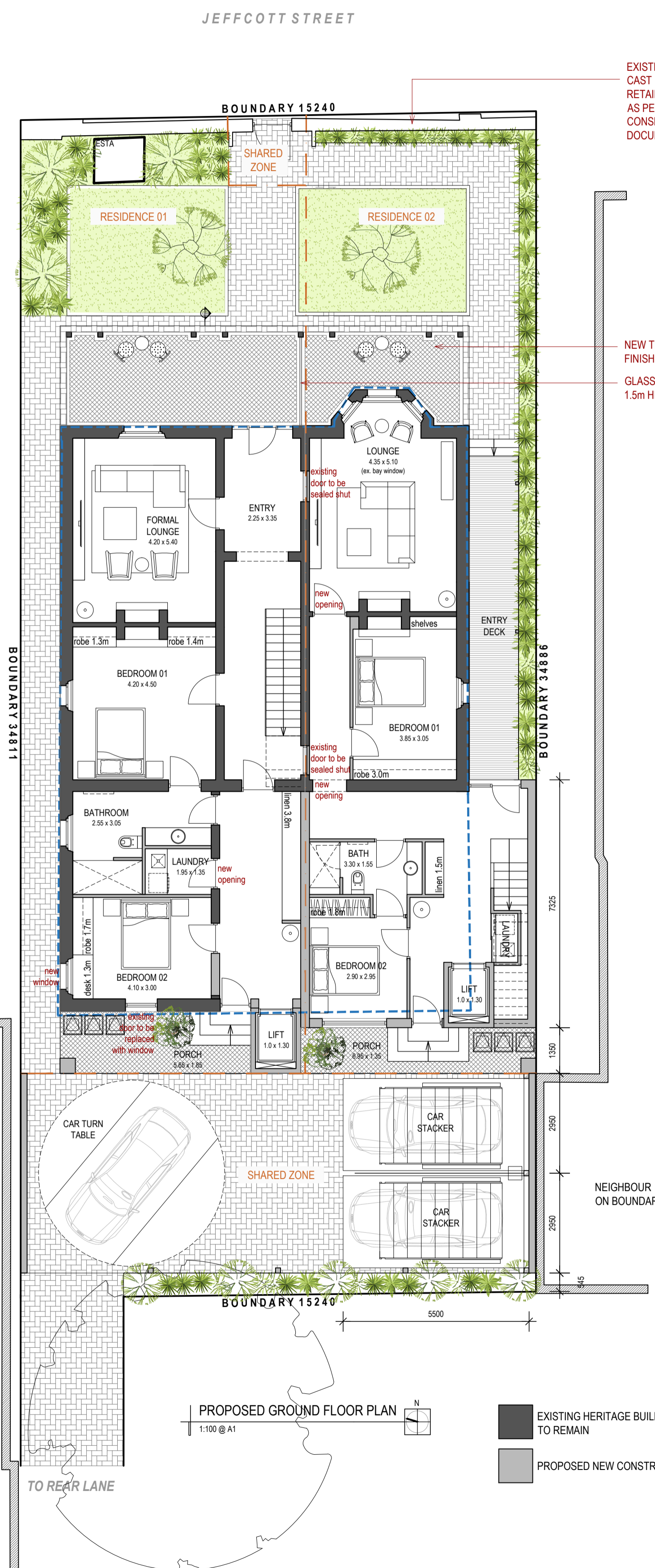
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 PROJECT
NORTH ADELAIDE DEVELOPMENT
 85 - 89 Jeffcott Street, NORTH ADELAIDE, SA 5006
 CLIENT
SCHIRRIPA
 DRAWING TITLE
EXISTING FLOORPLANS

**CITY OF ADELAIDE
 ADDITIONAL DOCUMENTS RECEIVED**
DA/429/2017
30/01/2019

DETAILS
 Drawn AM / BM / AR
 Scale 1:100 @ A1
 Date AUGUST 2018

AREA SCHEDULE

TOTAL SITE	531m²
SHARED SPACE	119.2m ²
TOTAL SITE COVERAGE %	43.5m ²
RESIDENCE 01	
SITE AREA:	233m ²
SITE COVERAGE % (incl 1/2 shared space):	43.7%
GROUND	128m ²
CARPORT	15m ²
FIRST	138m ²
TOTAL (GROUND + FIRST)	266m²
PRIVATE OPEN SPACE	52.4m ²
PRIVATE OPEN SPACE %	22.5%
RESIDENCE 02	
SITE AREA:	193.8m ²
SITE COVERAGE % (incl 1/2 shared space):	40.6%
GROUND	103m ²
CARPORT	15m ²
FIRST	110m ²
TOTAL (GROUND + FIRST)	213m²
PRIVATE OPEN SPACE	41.5m ²
PRIVATE OPEN SPACE %	21.4%



P	15.01.2019	ISSUE FOR APPROVAL
O	10.12.2018	ISSUE FOR APPROVAL
N	17.10.2018	ISSUE FOR APPROVAL
M	08.10.2018	ISSUE FOR APPROVAL
L	01.08.2018	ISSUE FOR APPROVAL
K	20.06.2018	ISSUE FOR CLIENT
J	10.05.2018	ISSUE FOR CLIENT
I	27.02.2018	ISSUE FOR CLIENT
H	23.01.2018	ISSUE FOR CLIENT
G	15.11.2017	ISSUE FOR CLIENT
F	25.10.2017	ISSUE FOR CLIENT
E	01.06.2017	ISSUED FOR APPROVAL
D	24.05.2017	PRELIMINARY
C	10.05.2017	PRELIMINARY
B	19.04.2017	PRELIMINARY
A	05.04.2017	PRELIMINARY

FOR APPROVAL

17-011.PL03.P

PROJECT
North Adelaide Development
 85-89 Jeffcott Street, NORTH ADELAIDE, SA 5006

CLIENT
SCHIRRIPA

DRAWING TITLE
PROPOSED FLOORPLANS

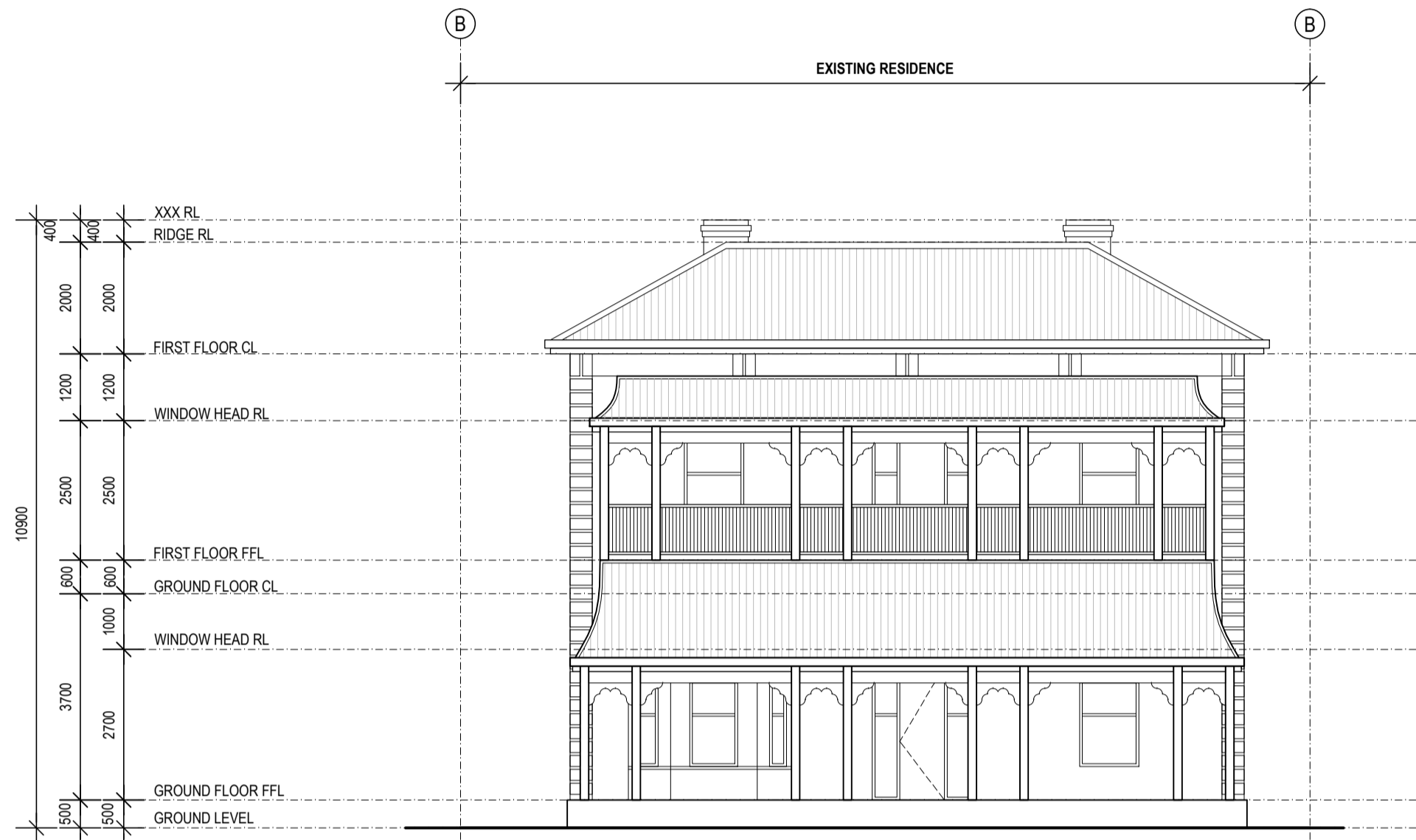
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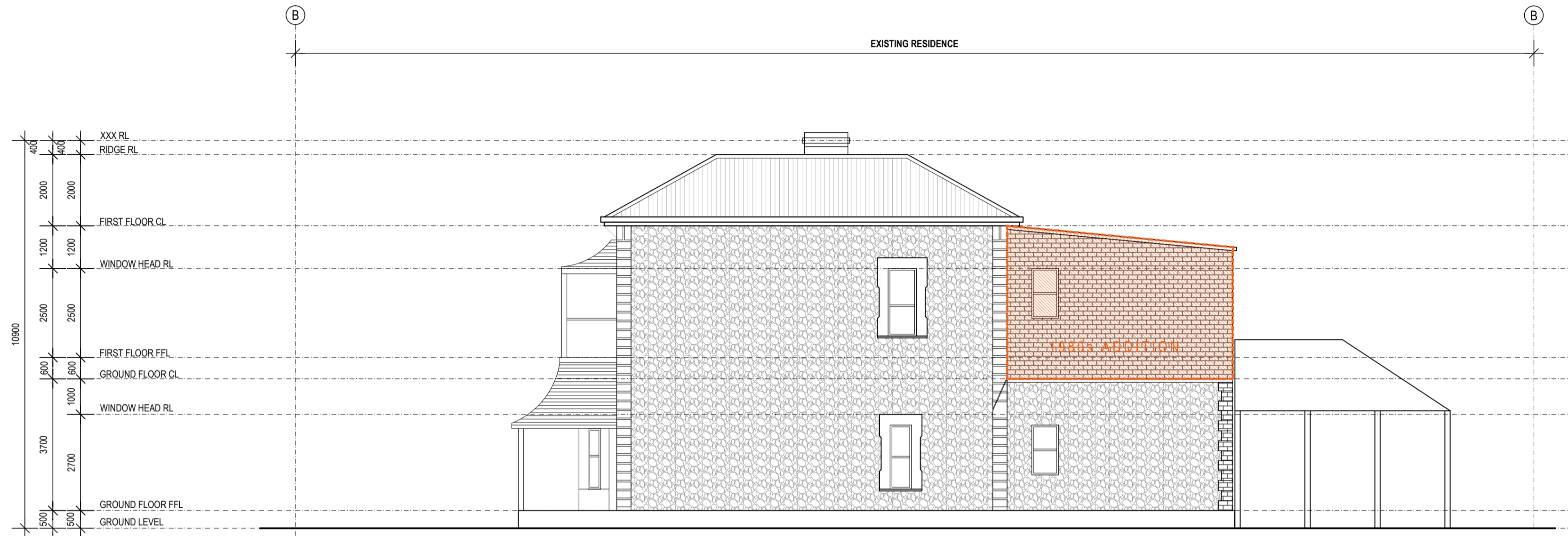
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FINISHES SCHEDULE

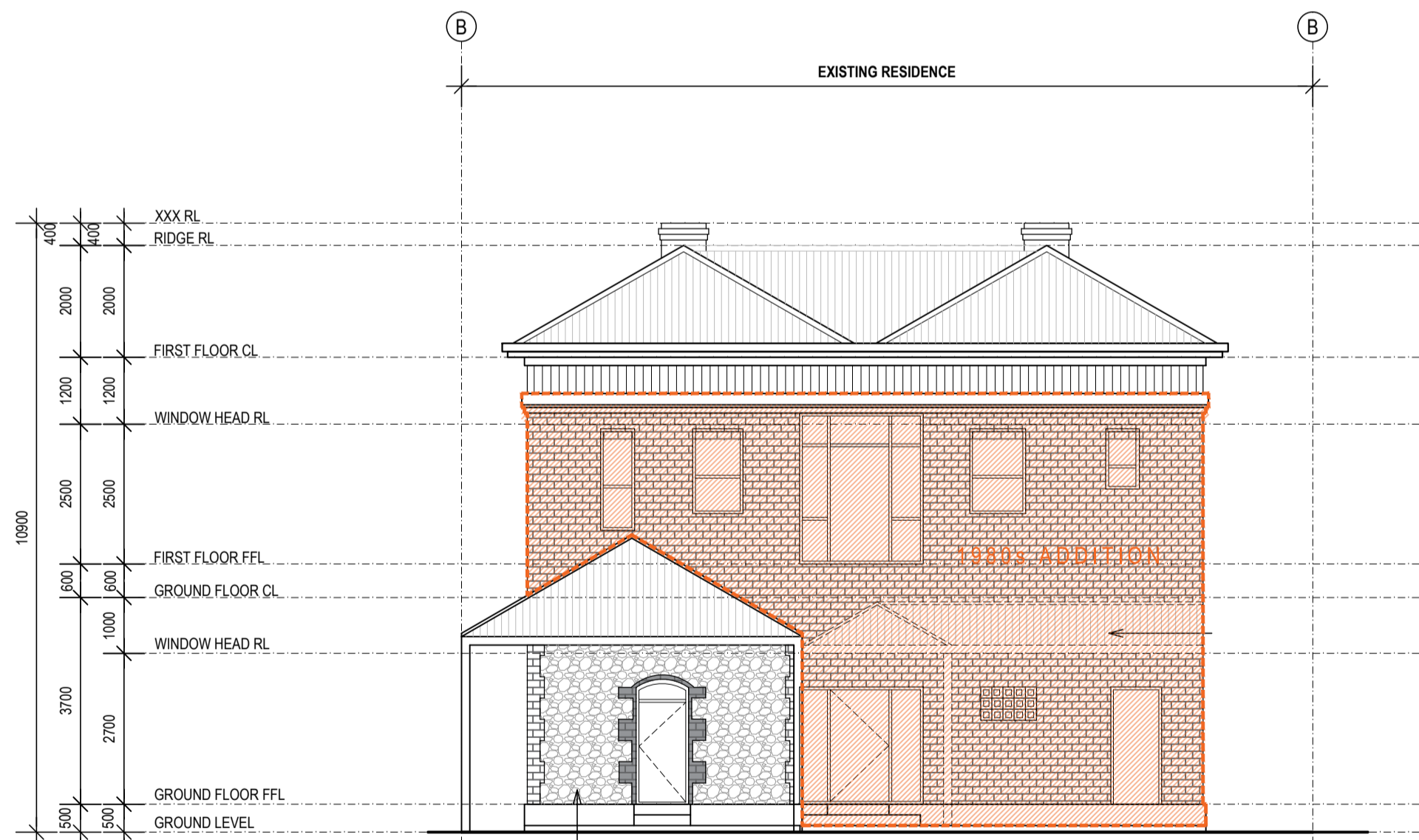
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 COLOUR: OFF WHITE
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 COLOUR: MEDIUM DARK GREY
- RS-01: ROOF SHEETING TYPE 01**
 COLORBOND CORRUGATED ROOF SHEETING TO MATCH EXISTING
 COLOUR: CB WALLABY
- FL: ROOF FLASHING TRIM IN DARK GREY COLOUR TO MATCH WF-02**
- FE-01: FENCE TYPE 01**
 STRATCO GOOD NEIGHBOUR FENCE
 COLOUR: LIGHT GREY
- TIMBER PERGOLA**
 TIMBER FRAMED PERGOLA STRUCTURE WITH COLORBOND ROOF AND FULLY LINED CEILING. STRUCTURE PAINTED BLACK
- TIMBER DECKING**
 TIMBER FRAMED STRUCTURE PAINTED BLACK WITH STAINED TIMBER DECKING
- TIMBER SCREEN**
 SOLID TIMBER SCREEN WITH NO MORE THAN 5mm GAPS AND STAINED FINISH
- DOOR & WINDOW SCHEDULE**
- ED** EXTERNAL DOOR
 TIMBER FRAME PAINT FINISH
 COLOUR: BLACK
- SW** SASH WINDOW
 TIMBER FRAME PAINT FINISH
 COLOUR: WHITE
- FG** FIXED GLAZING
- EX** EXISTING DOOR/ WINDOW



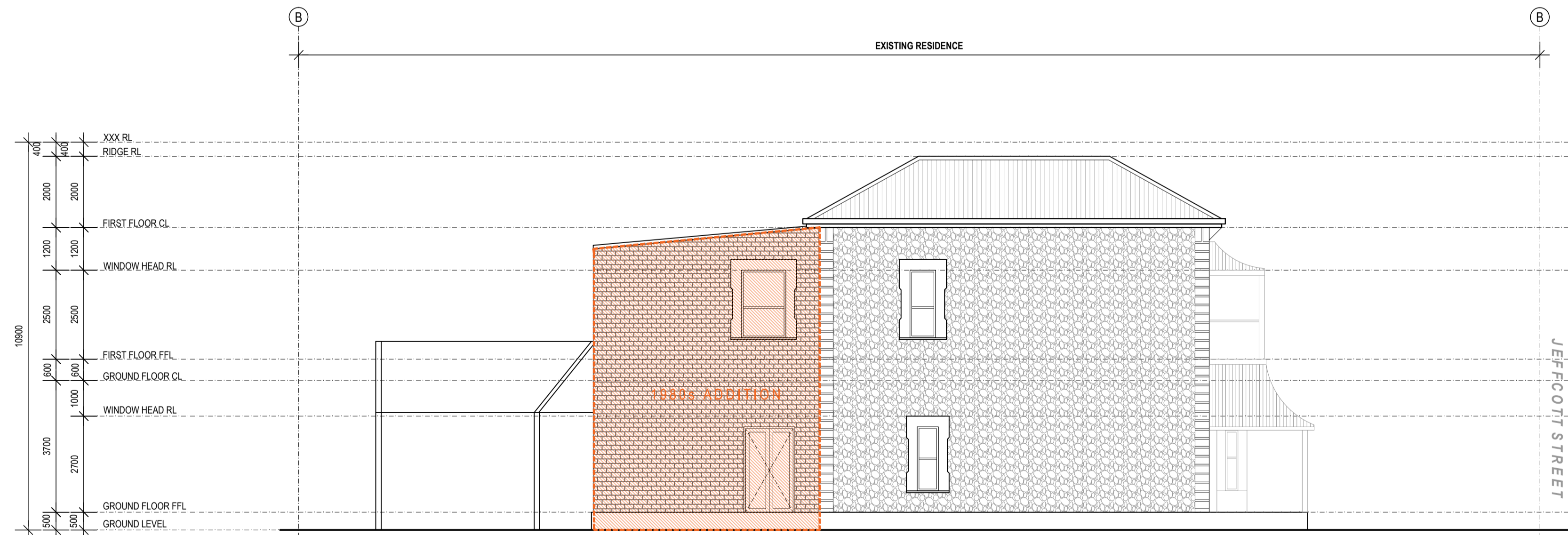
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EXISTING RESIDENCE NORTH ELEVATION
 1:100 @ A1 / 1:200 @ A3



EXISTING RESIDENCE (JEFCOTT STREET) WEST ELEVATION
 1:100 @ A1 / 1:200 @ A3



SOUTH ELEVATION
 1:100 @ A1 / 1:200 @ A3

E	01.08.2018	ISSUED FOR APPROVAL
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17-011.PL04.E

PROJECT
North Adelaide Development
 85-89 Jeffcott Street, NORTH ADELAIDE, SA 5006

CLIENT
SCHIRRIPA
 DRAWING TITLE
EXISTING ELEVATIONS

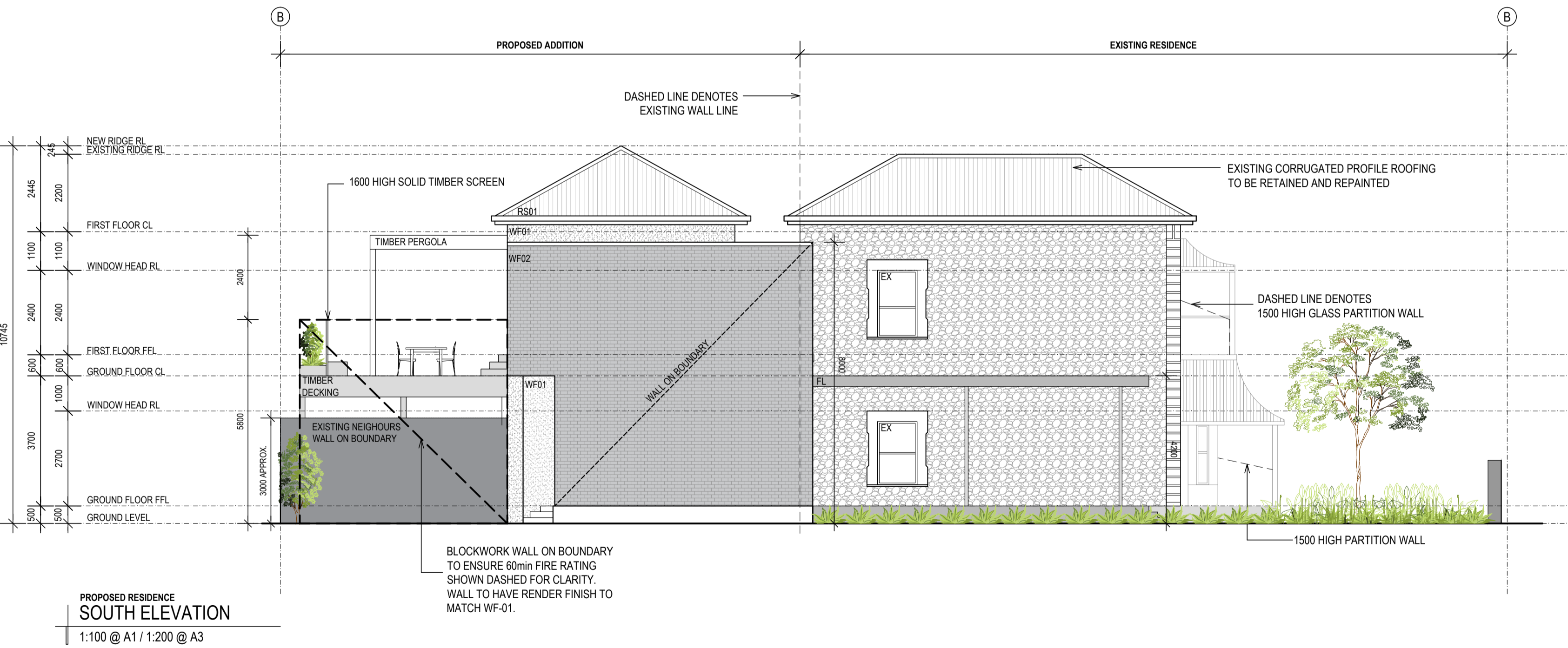
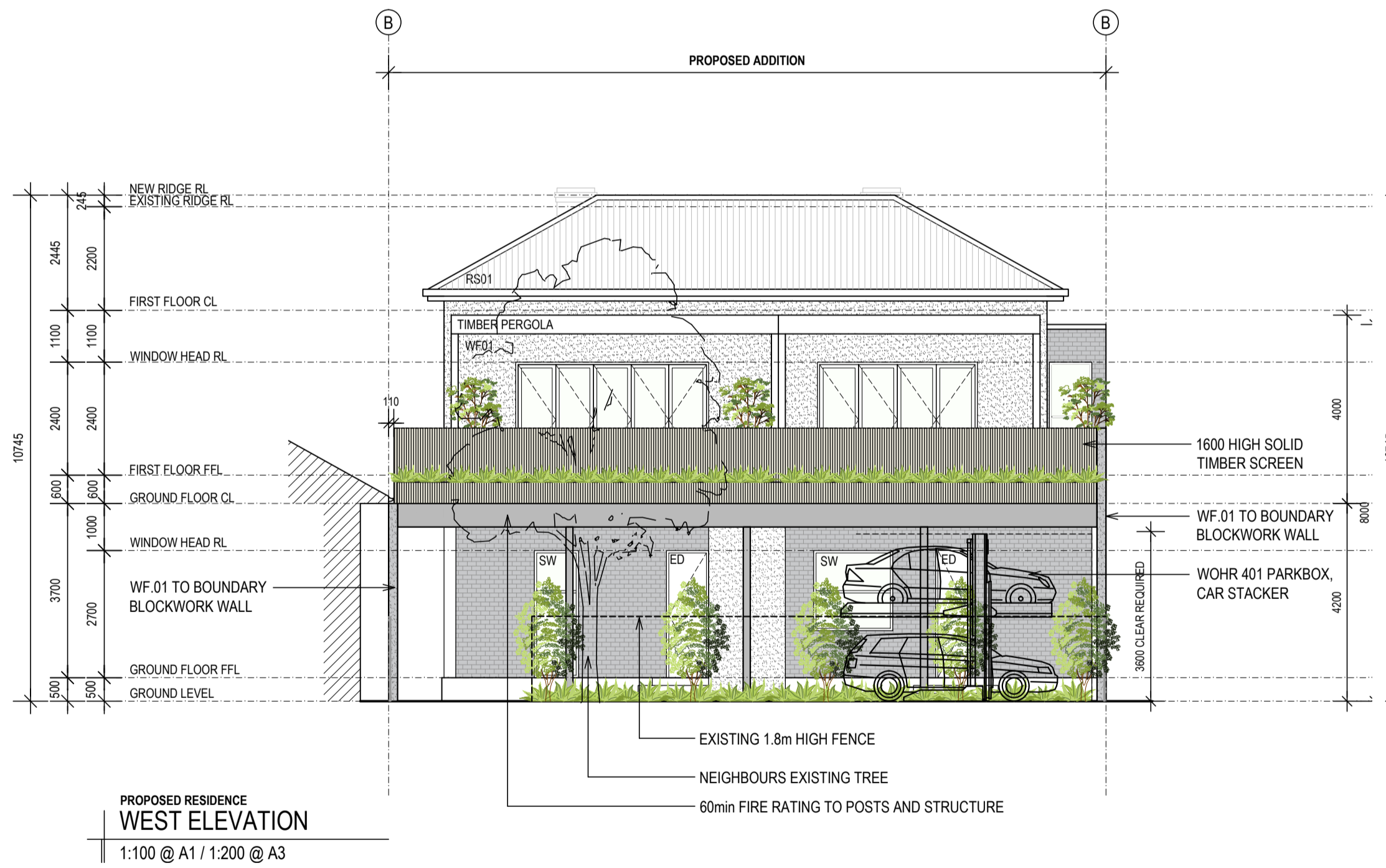
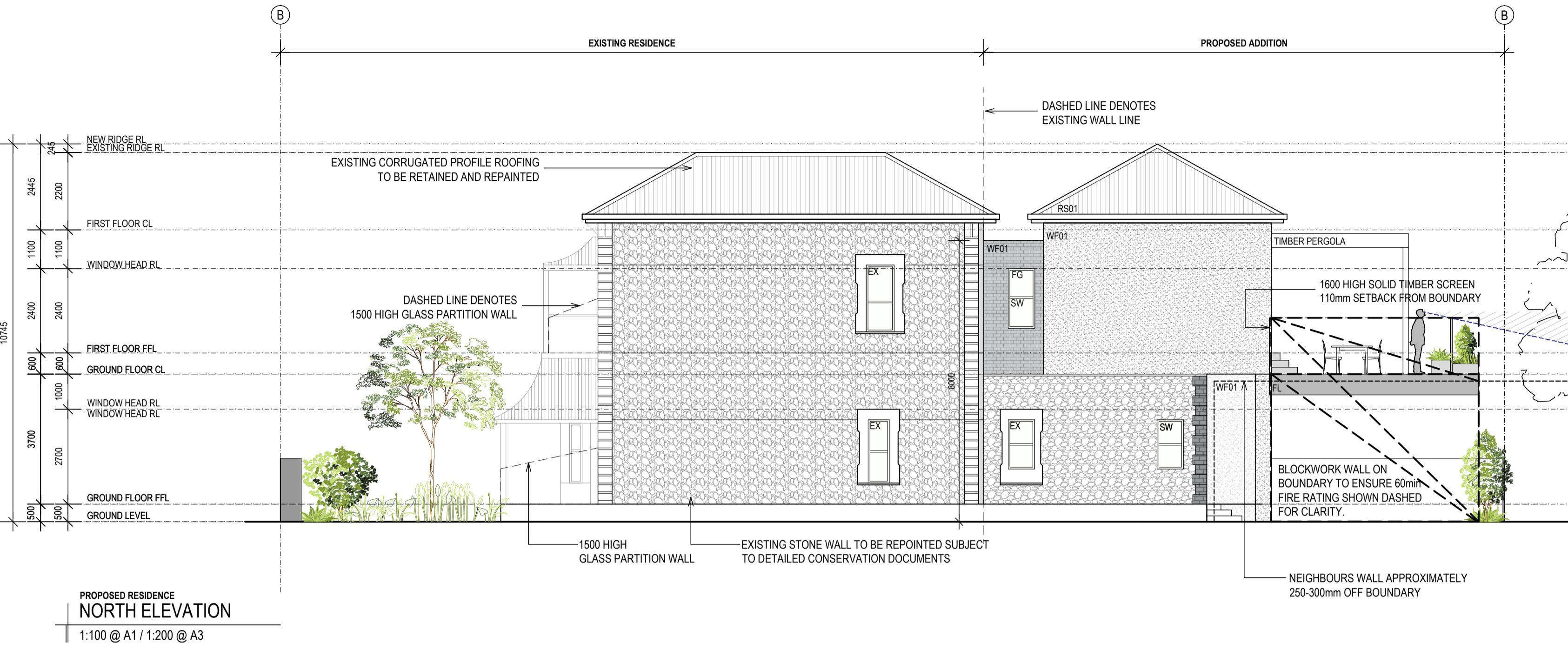
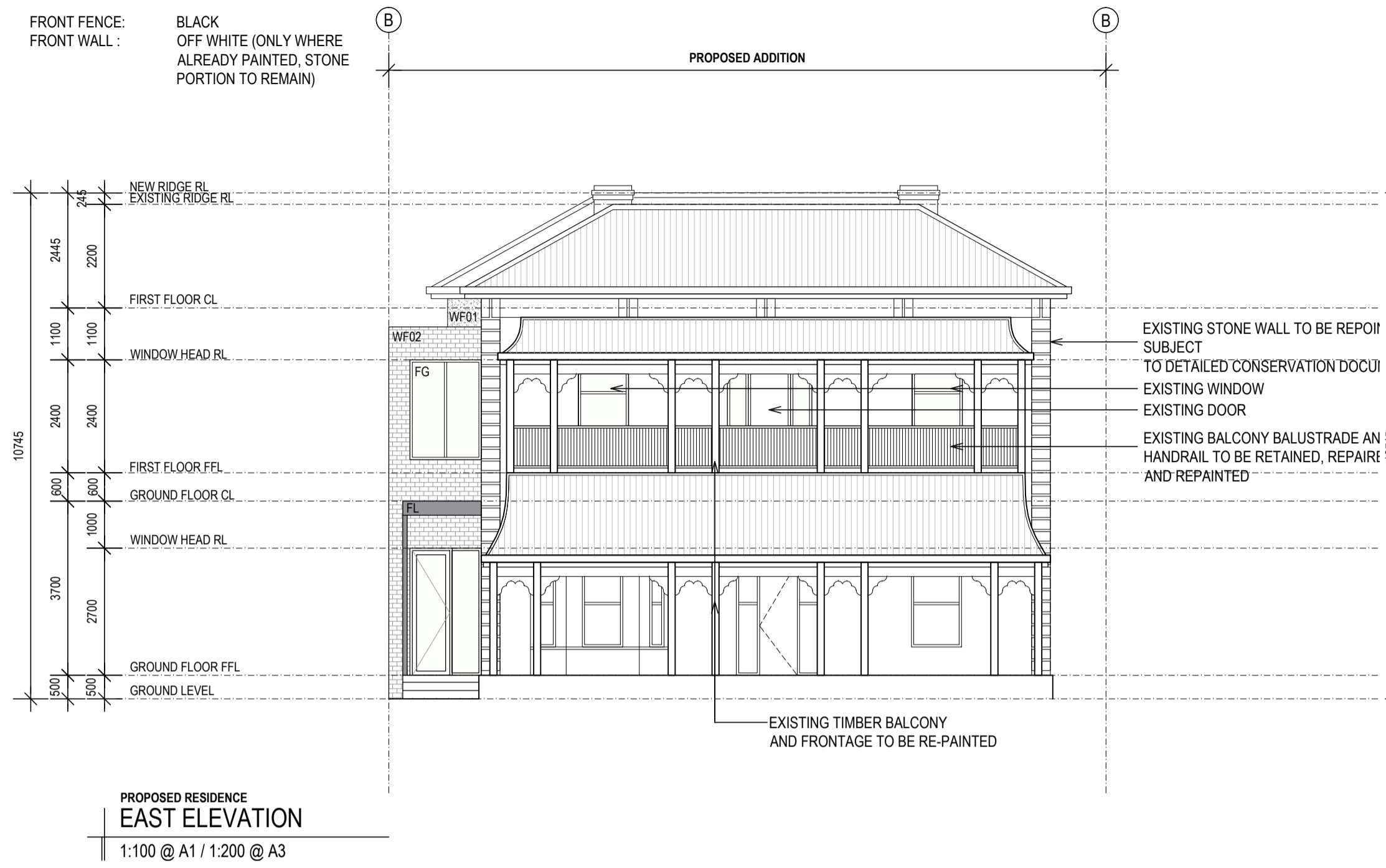
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 Date **AUGUST 2018**

ABA

**CITY OF ADELAIDE
 ADDITIONAL DOCUMENTS RECEIVED**

DA/429/2017
30/01/2019

- NEW PAINT FINISH TO FRONT FACADE**
 ROOF: CB WALLABY
 GUTTER: BLACK
 FASCIA: OFF WHITE
 DOWNPIPES: OFF WHITE
 BRICK QUAINS: OFF WHITE
 VERANDAH POSTS: OFF WHITE
 LACEWORK: BLACK
 WINDOW FRAMES: OFF WHITE
 ENTRY DOOR: BLACK
 BALCONY DOOR: BLACK
- FRONT FENCE: BLACK
 FRONT WALL: BLACK OFF WHITE (ONLY WHERE ALREADY PAINTED, STONE PORTION TO REMAIN)



AREA SCHEDULE

TOTAL SITE	531m ²
SHARED SPACE	119.2m ²
TOTAL SITE COVERAGE %	43.5m ²
RESIDENCE 01	
SITE AREA:	233m ²
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GROUND CARPORT FIRST	128m ²
TOTAL (GROUND + FIRST)	266m ²
PRIVATE OPEN SPACE	52.4m ²
PRIVATE OPEN SPACE %	22.5%
RESIDENCE 02	
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M	30.01.2019	ISSUE FOR APPROVAL
L	18.01.2019	ISSUE FOR APPROVAL
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J	10.12.2018	ISSUE FOR APPROVAL
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E	01.08.2018	ISSUED FOR APPROVAL
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B	01.06.2017	ISSUED FOR APPROVAL
A	24.05.2017	PRELIMINARY

FOR APPROVAL

17-011.PL05.M
 PROJECT
North Adelaide Development
 85-89 Jeffcott Street, NORTH ADELAIDE, SA 5006

CLIENT
SCHIRRIPA

DRAWING TITLE
PROPOSED ELEVATIONS

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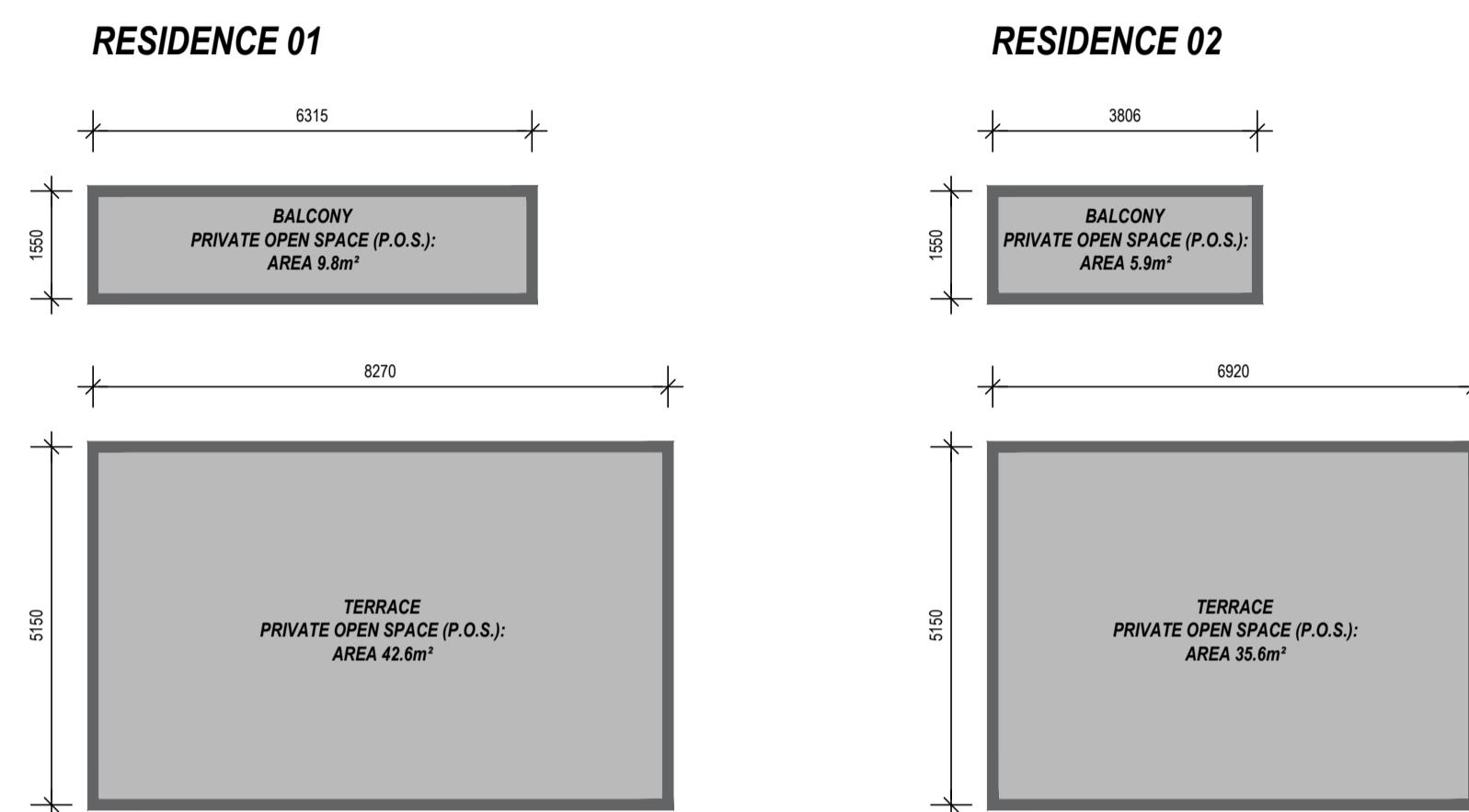
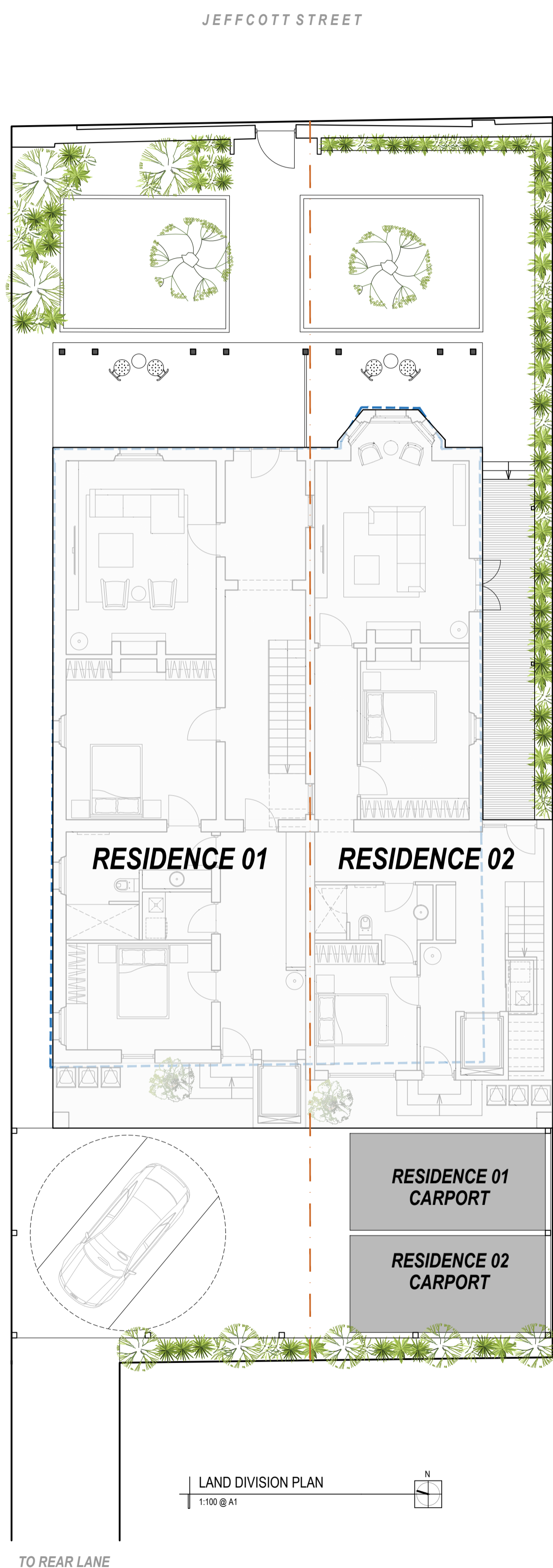
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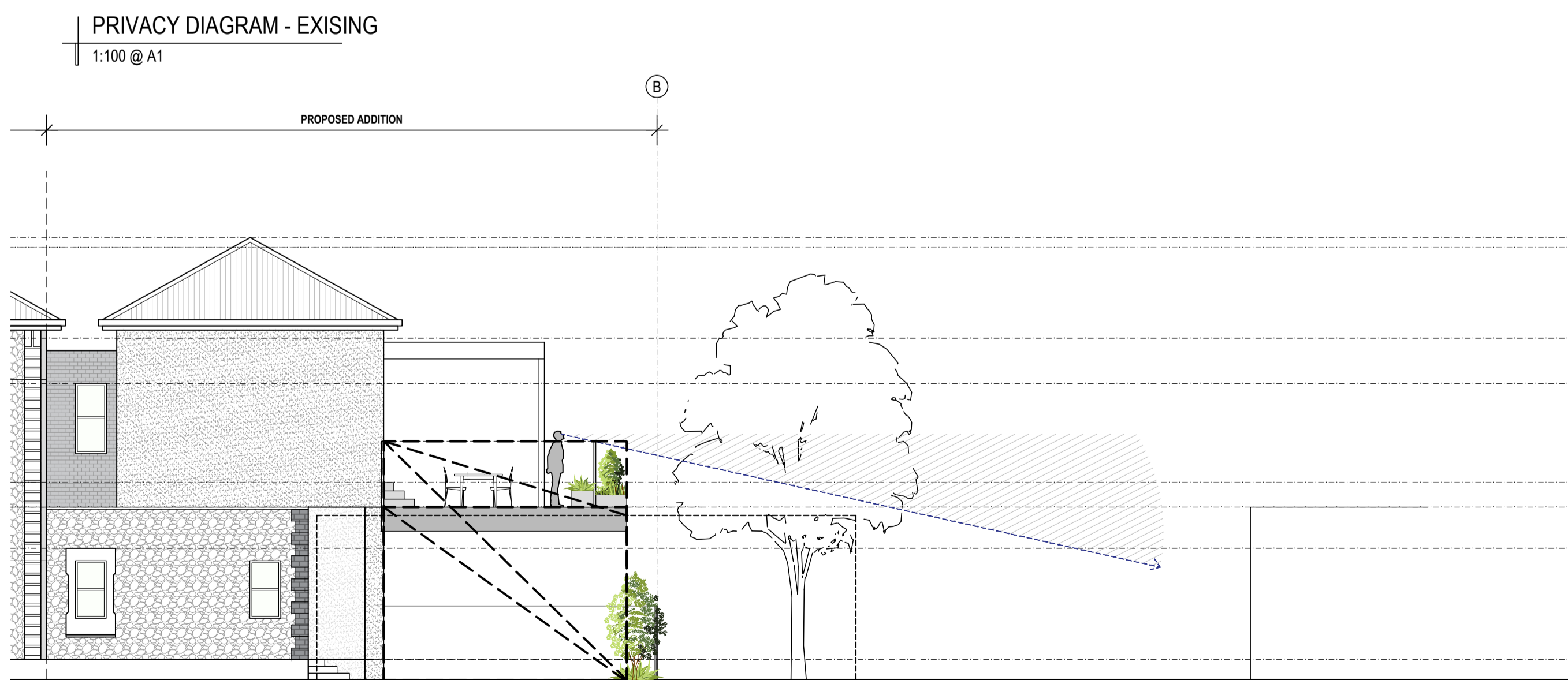
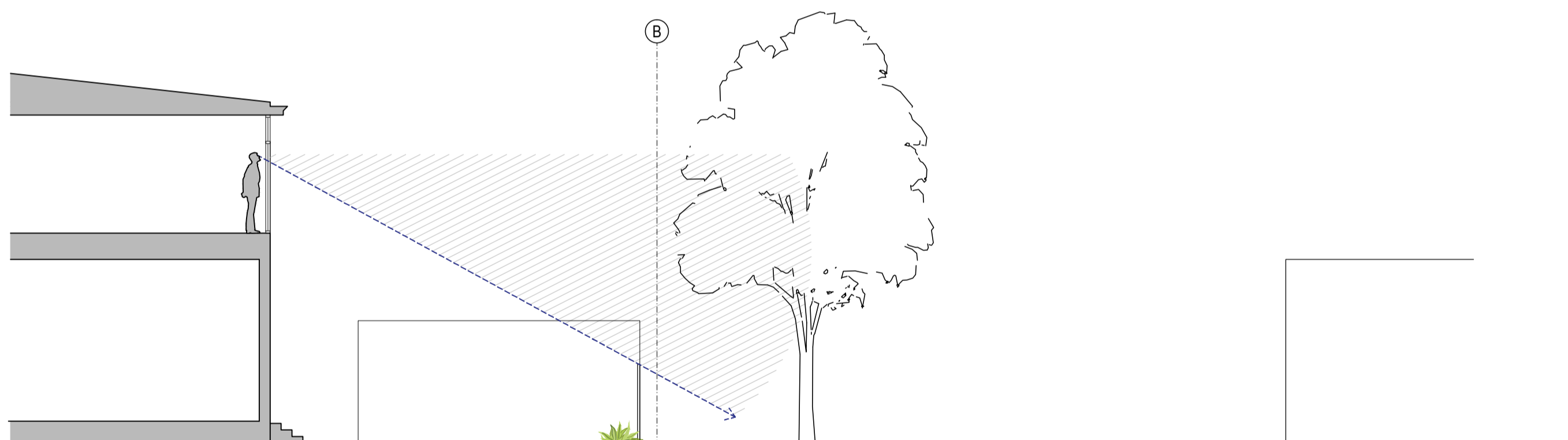


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PRIVATE OPEN SPACE	41.5m ²
PRIVATE OPEN SPACE %	21.4%



PRIVATE OPEN SPACE
1:100 @ A1



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 ADDITIONAL DOCUMENTS RECEIVED**

DA/429/2017

30/01/2019

D	10.12.2018	ISSUE FOR APPROVAL
C	01.08.2018	ISSUE FOR APPROVAL
B	10.05.2018	ISSUE FOR CLIENT
A	26.06.2017	PRELIMINARY

FOR APPROVAL

17-011.PL06.D

PROJECT
North Adelaide Development
 85-89 Jeffcott Street, NORTH ADELAIDE, SA 5006

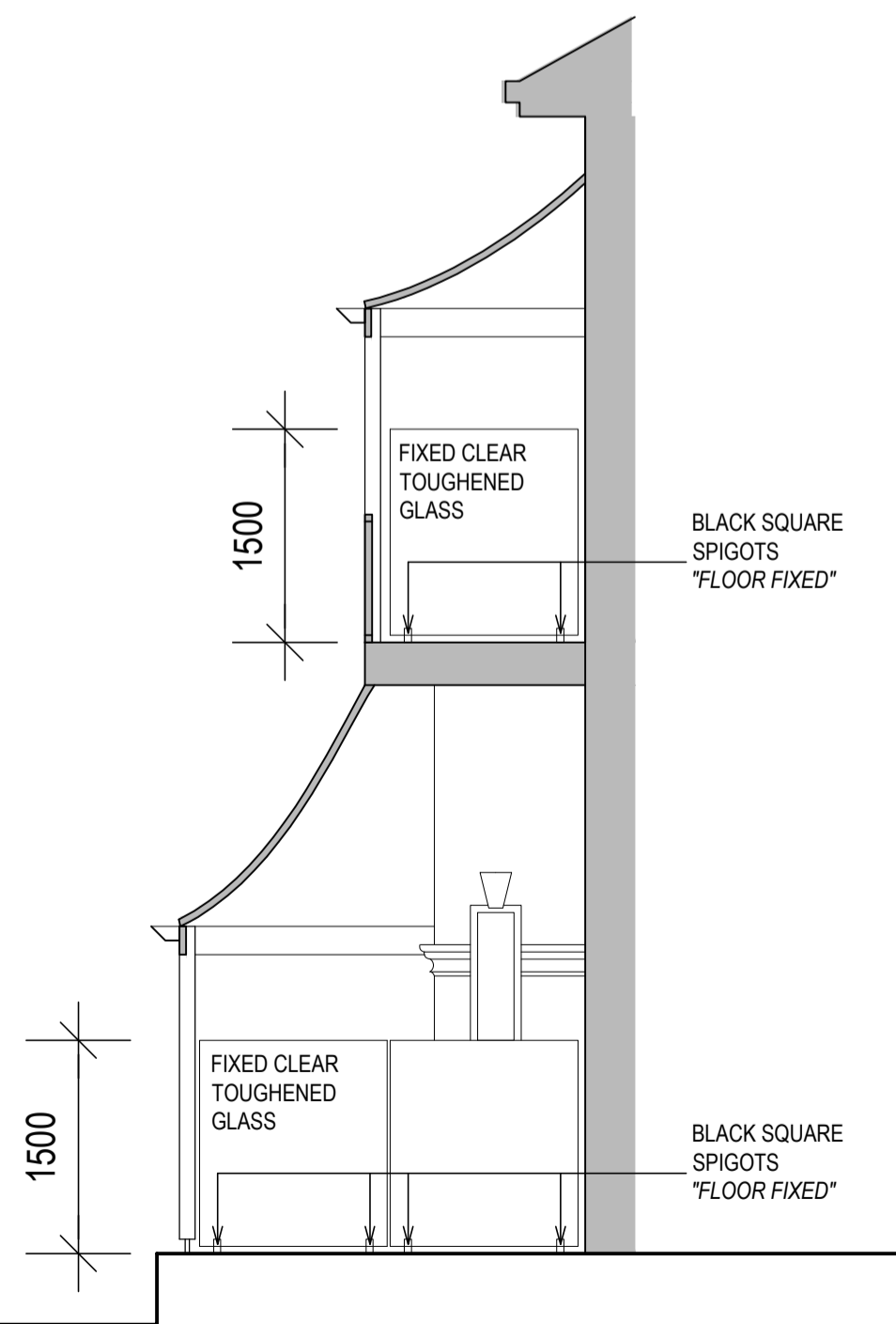
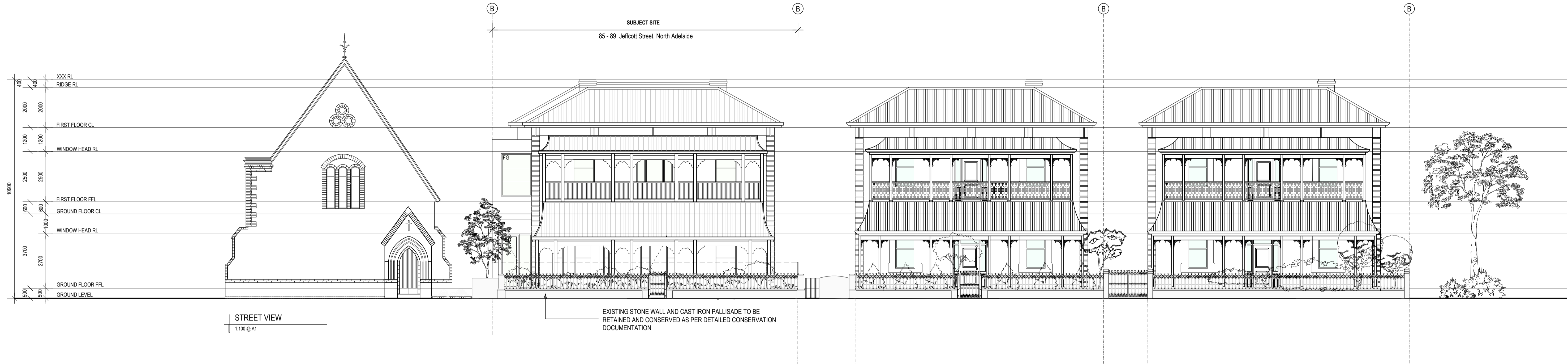
CLIENT
SCHIRRIPA

DRAWING TITLE
LAND DIVISION/PRIVATE OPEN SPACE

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 Date **DECEMBER 2018**



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SECTION DETAIL 01
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E	09.10.2018	ISSUE FOR APPROVAL
D	01.08.2018	ISSUE FOR APPROVAL
C	20.06.2018	ISSUE FOR CLIENT
B	10.05.2018	ISSUE FOR CLIENT
A	23.01.2018	ISSUE FOR CLIENT

FOR APPROVAL

17.011.PL07.E

PROJECT
NORTH ADELAIDE DEVELOPMENT
 85 - 89 Jeffcott Street, NORTH ADELAIDE, SA 5006

CLIENT
SCHIRRIPA
 DRAWING TITLE
STREET SCAPE

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30/01/2019

DETAILS
 Drawn AR
 Scale 1:100 @ A1
 Date OCTOBER 2018



OVERSHADOWING DIAGRAMS

93 JEFFCOTT STREET, NORTH ADELAIDE

ALEXANDER BROWN ARCHITECTS

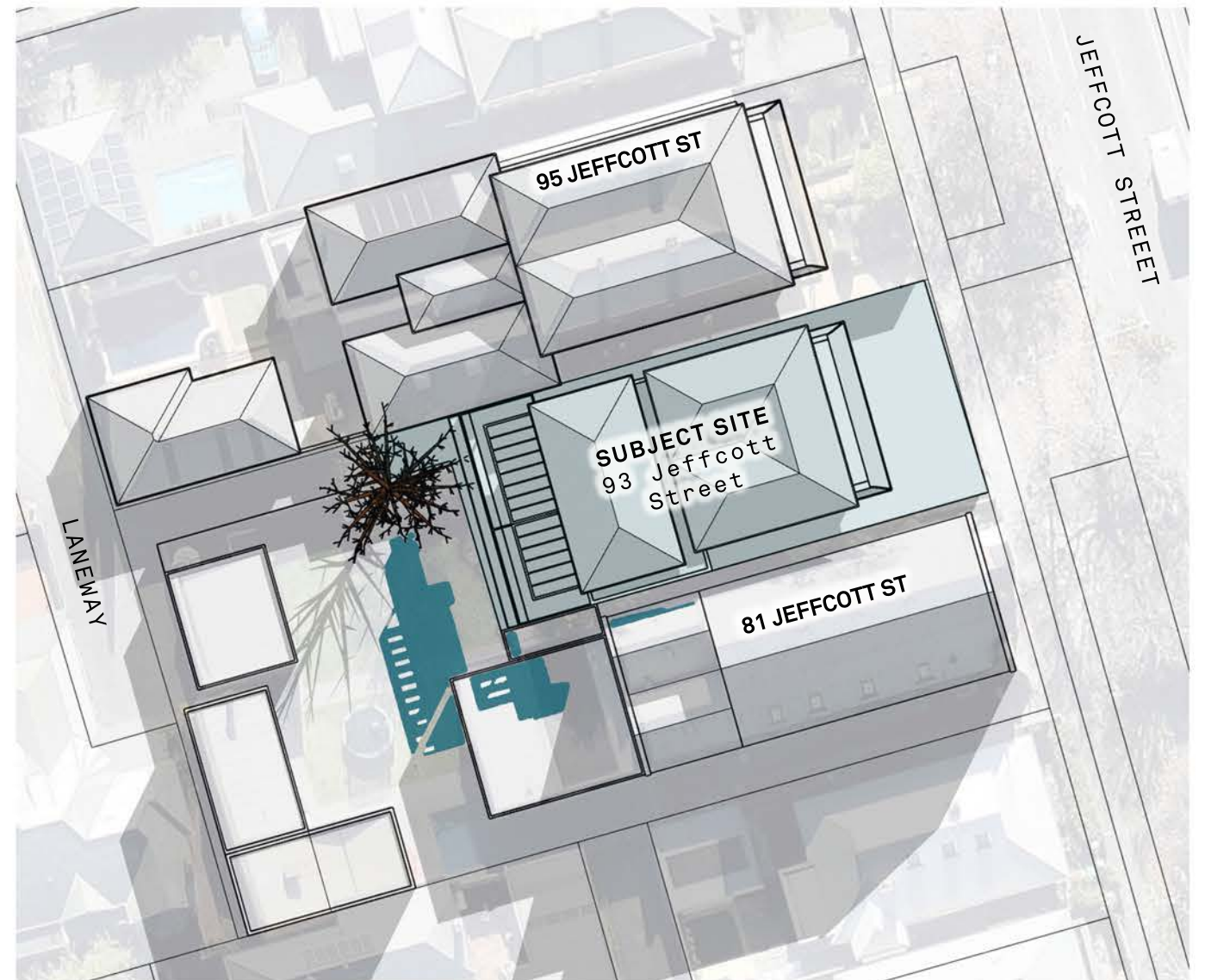
Suite 6, 611 Magill Road, Magill SA 5072
p. 08 8364 4447 www.alexanderbrown.com.au

DRAWINGS NUMBER 17.011.0D01
ISSUE A
DATE 05.12.2018

10.00 am June 21st (Winter Solstice)



CURRENT OVERSHADOWING



PROPOSED ADDITION



 Area of additional overshadowing resulting from proposed addition

CITY OF ADELAIDE
ADDITIONAL DOCUMENTS RECEIVED
DA/429/2017
10/12/2018

OVERSHADOWING DIAGRAMS

93 JEFFCOTT STREET, NORTH ADELAIDE

ALEXANDER BROWN ARCHITECTS

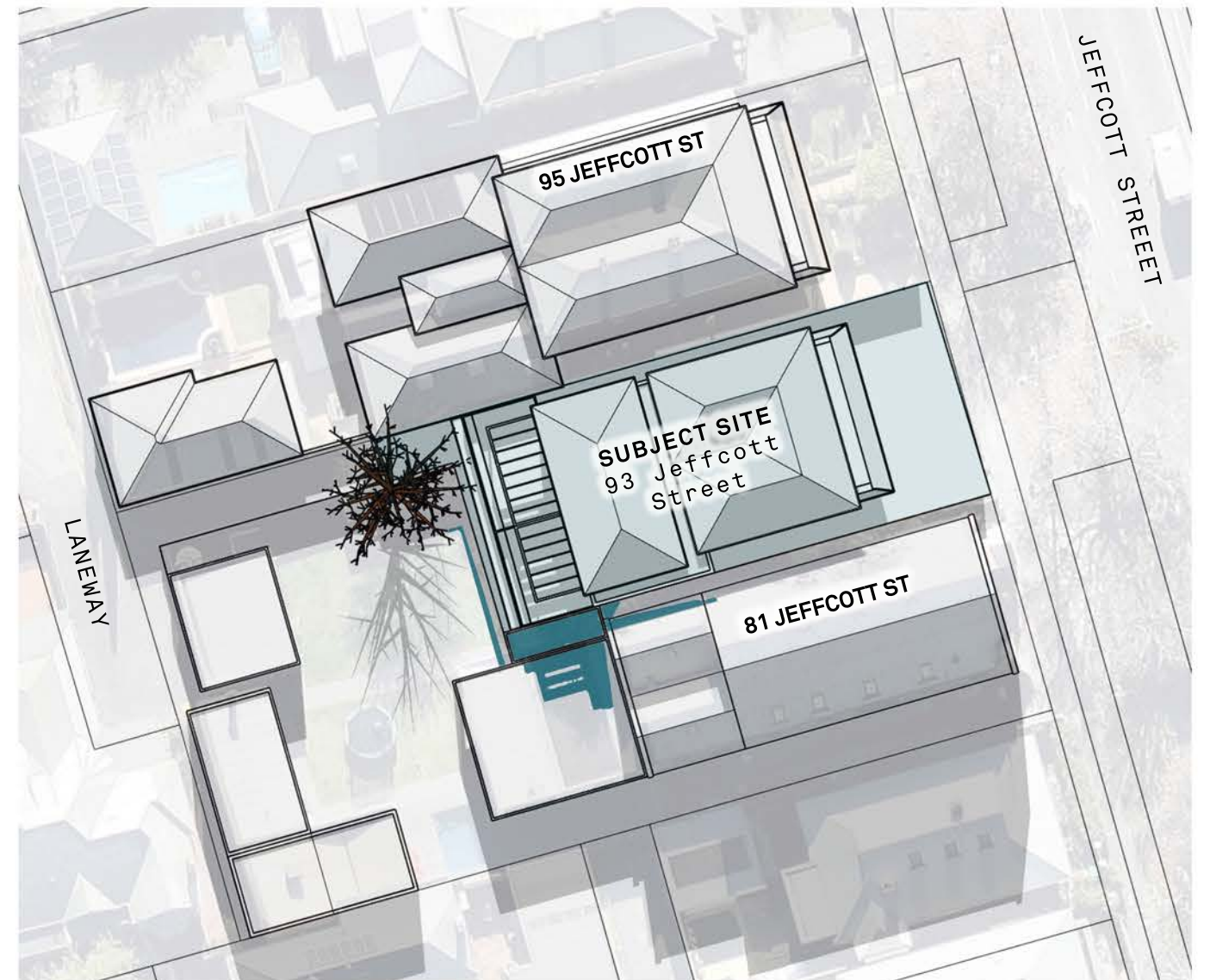
Suite 6, 611 Magill Road, Magill SA 5072
p. 08 8364 4447 www.alexanderbrown.com.au

DRAWINGS NUMBER 17.011.0D02
ISSUE A
DATE 05.12.2018

12.00 pm June 21st (Winter Solstice)



CURRENT OVERSHADOWING



PROPOSED ADDITION



■ Area of additional overshadowing resulting from proposed addition

CITY OF ADELAIDE
ADDITIONAL DOCUMENTS RECEIVED
DA/429/2017
10/12/2018

OVERSHADOWING DIAGRAMS

93 JEFFCOTT STREET, NORTH ADELAIDE

ALEXANDER BROWN ARCHITECTS

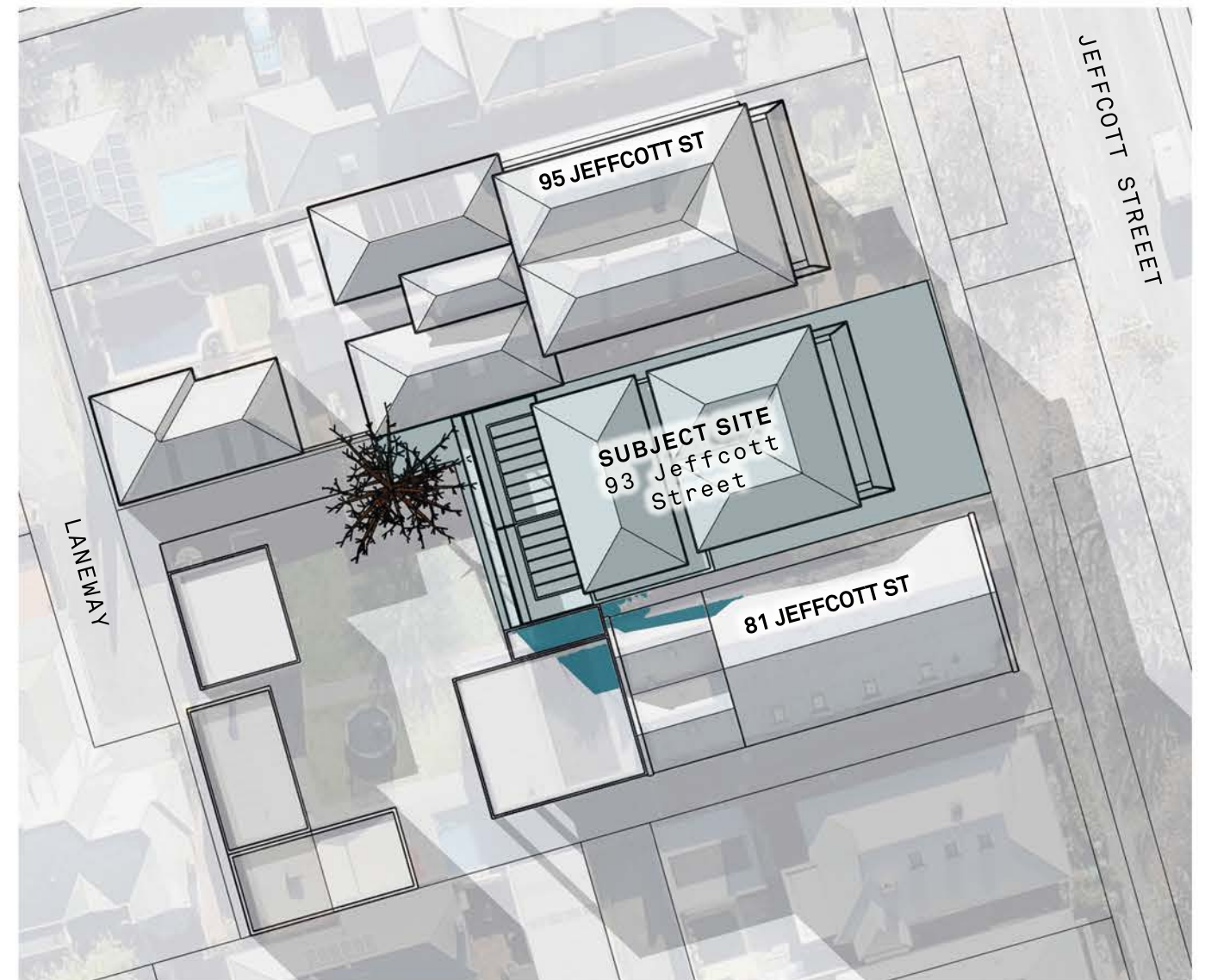
Suite 6, 611 Magill Road, Magill SA 5072
p. 08 8364 4447 www.alexanderbrown.com.au

DRAWINGS NUMBER 17.011.0D03
ISSUE A
DATE 05.12.2018

03.00 pm June 21st (Winter Solstice)



CURRENT OVERSHADOWING



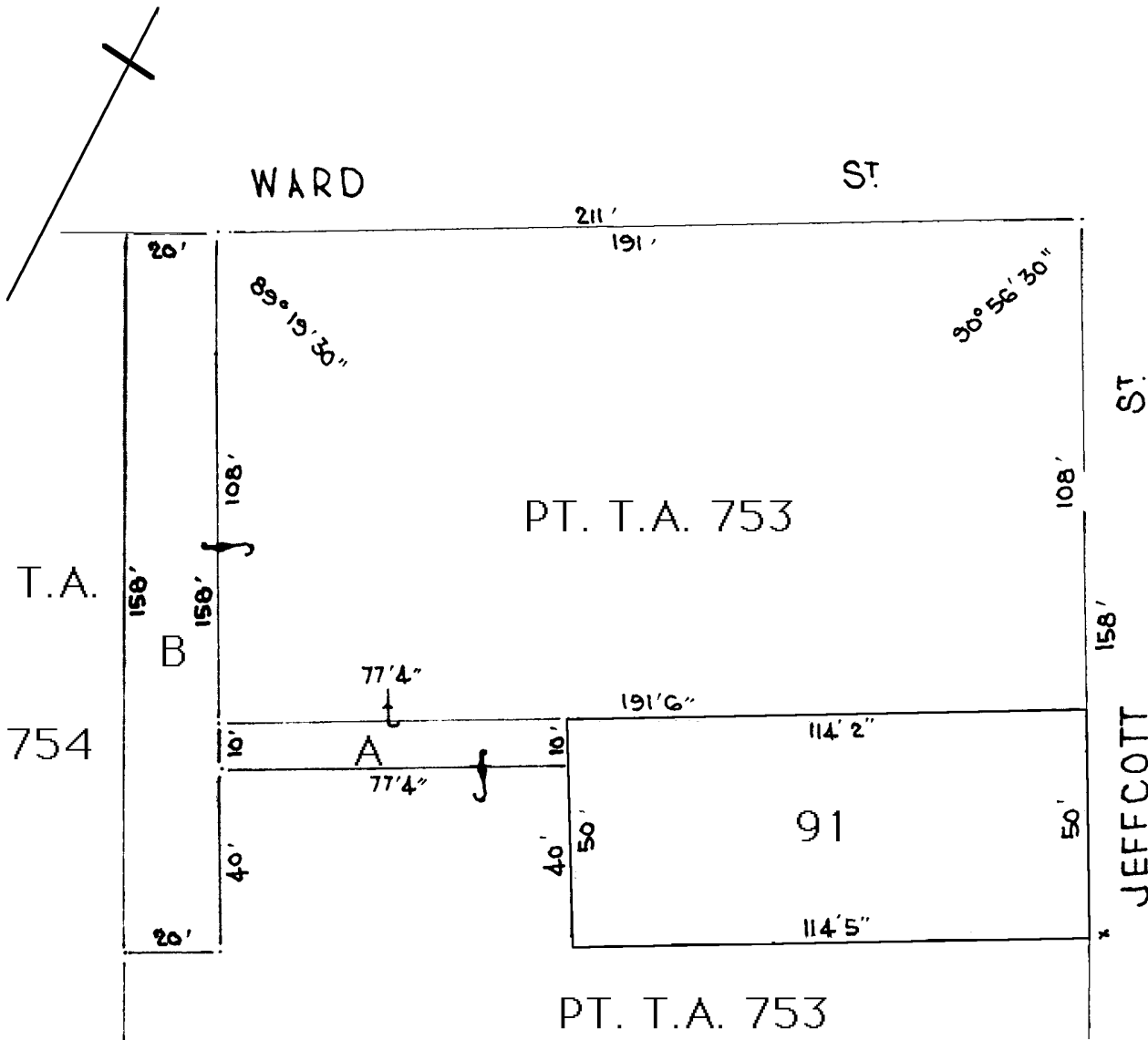
PROPOSED ADDITION



 Area of additional overshadowing resulting from proposed addition

CITY OF ADELAIDE
ADDITIONAL DOCUMENTS RECEIVED
DA/429/2017
10/12/2018

This plan is scanned for Certificate of Title 3542/56
 See title text for easement details.



DISTANCES ARE IN FEET AND INCHES	
FOR METRIC CONVERSION	
1 FOOT	= 0.3048 metres
1 INCH	= 0.0254 metres

Note : Subject to all lawfully existing plans of division



Heritage Impact Statement

85-89 Jeffcott Street, North Adelaide

August 2018



Contents

Acknowledgments.....	3
1.0 Introduction	4
1.1 Background.....	4
1.2 Objective of Report	4
1.3 Limitations of this Report.....	4
1.4 Current and Future Use Ownership and Occupation.....	5
1.5 Architectural Drawings.....	5
1.6 Location of Site	6
1.7 Existing Setting and Surrounding Character	7
1.8 Existing Heritage Listing	8
1.9 Existing Adjacent State Heritage Listings.....	9
1.10 Zoning of Site.....	10
2.0 Historical Outline.....	11
2.1 History.....	11
3.0 Existing Subject Property	14
3.1 Description of Existing.....	14
3.2 Description of Previous Works.....	14
3.3 Current Photographs	16
4.0 Heritage Value	25
4.1 The Local Heritage Place.....	25
4.2 Use.....	26
4.3 Heritage Value	26
4.4 A recommended approach	27
5.0 Proposed Development	28
5.1 Initial Proposal.....	28
5.2 City of Adelaide Development Assessment Initial Advice	29
5.3 Preliminary Advice to Applicant, November 2017	30
5.4 Description of amended Proposed Works	31
5.5 Proposed Conservation Work.....	37
6.0 Discussion and Assessment of Heritage Impact.....	42
6.1 Discussion.....	42
6.2 Our Assessment of Heritage Adviser Concerns based on the Initial Proposal (November 2017)	45
7.0 Conclusion.....	49
Appendix 1: Selected Bibliography	51

Acknowledgments

This report has been prepared by the following Flightpath personnel:

Person	Title	Tasks
Douglas Alexander	Director	Author
Alistair Ravenscroft	Senior Architect (Conservation)	Research
Kate Paterson	Associate (Research & Heritage Consultant)	Research
Kendall Hall	Associate	Support
Charlotte Poulain	Graduate of Architecture	Support
Tessa Sare	Graduate of Architecture & Planning	Support

1.0 Introduction

1.1 Background

The subject property is located at 85-89 Jeffcott Street, North Adelaide, and is listed in the City of Adelaide Development Plan as a Local Heritage Place.

The City of Adelaide Heritage Survey describes the property as a Two storey Victorian residence, including interior and masonry and iron fence. The subject site is one in a group of three two-storey bluestone villas that were constructed between 1882 and 1883. During the 1920s, the three houses were used as a boarding house, but were then converted to the Milford House Private Hotel, in 1927, and in 1965 the properties became the Milford Private Hospital.

Flightpath Architects were requested to provide heritage advice relating to a proposed North Adelaide development, designed by Alexander Brown Architects. This project involves a conversion of the detached dwelling to a residential flat building comprising two dwellings. It includes partial demolition of later additions to the rear of the existing dwelling, construction of a two-storey replacement addition, carport to the rear and an outdoor terrace. The development also includes a Land Division to create two allotments.

1.2 Objective of Report

An application was lodged with the City of Adelaide. It received unfavourable comment from Council's Heritage Advisers and Planner. The objective of this report is to provide advice leading to an amended proposal, then commentary on the finalised development proposal based upon the relevant provisions of the Adelaide (City) Development Plan.

The following tasks have been undertaken in order to develop an understanding of the heritage value of the place and the proposed development:

- Research and Historical Overview;
- Review of the initial Architectural drawings by Alexander Brown Architects as submitted to Adelaide City Council;
- Site inspections and meetings with the Owner and Architect to discuss amendments;
- Advice to the Architect;
- Review of amended plans reflecting the heritage advice.

1.3 Limitations of this Report

This report does not provide a full planning assessment and is limited to heritage assessment. The Council Wide, Zone and Policy area provisions have been reviewed for any heritage policy provisions or adjacency of heritage listed buildings.

This report does not consider Archaeological or Aboriginal Heritage values, nor does the report provide comment on the removal of trees.

1.4 Current and Future Use Ownership and Occupation

The subject building was constructed between 1882 and 1883, and has since been used as a boarding house, private hotel and private hospital. The dwelling is currently being used as a residence. The proposed adaptation, addition and site development will provide two residential properties improved accessibility for residents and the ongoing use of the heritage place, ensuring its future suitability and relevance.

1.5 Architectural Drawings

The initial advice was based on the following drawings:

Drawing Title	Date	Project No.	Drawing No.	Issue
ARCHITECTURAL				
EXISTING FLOOR PLANS	25/10/2017	17-011	01	C
PROPOSED FLOOR PLANS	25/10/2017	17-011	02	F
EXISTING ELEVATIONS	01/06/2017	16-068	03	B
PROPOSED ELEVATIONS	01/06/2017	16-068	04	B

This assessment is based upon the following final drawings:

Drawing Title	Date	Project No.	Drawing No.	Issue
ARCHITECTURAL				
SITE PLAN AND SURVEY	23.01.2018	17-011	PL01.E	E
EXISTING FLOOR PLANS	08.03.2018	17-011	PL01.E	E
PROPOSED FLOORPLANS	20.06.2018	17-011	PL03.K	K
EXISTING ELEVATIONS	11.05.2018	17-011	PL2.D	E
PROPOSED ELEVATIONS	20.06.2018	16-068	SK05.E	E
LAND DIVISION / PRIVATE OPEN SPACE	10.05.2018	17-011	SK06.B	B
STREET SCAPE	20.06.2018	17-011	SK07.C	C

1.6 Location of Site

The property is located at 85-89 Jeffcott Street, south of the junction of Jeffcott Street and Ward Street, in North Adelaide. The Subject Land is Allotment 91 in Certificate of Title Volume 5332 Folio 810.

The Certificate of Title records the property (Allotment 91) with an approximate area of 520 square metres. The approximate dimensions of the allotment include a frontage to Jeffcott Street of 14.8m and a depth of 34.6m. The subject land incorporates a right of way over Allotment 1015 which is positioned at the rear of the property. The right of way provides the residents access to a laneway and Ward Street.

The subject property is currently composed of one allotment in Certificates of Title, namely: Allotment 91 in Deposited Plan 170790 in Certificate of Title Volume 5332 Folio 810.



Figure 1 Front facade of subject property, North Adelaide
Source: Google Maps, 2017.



Figure 2 Front facade of subject property and adjacent buildings, North Adelaide
Source: Google Maps, 2017.



Figure 3 Location plan
Source: Location SA Map Viewer

1.7 Existing Setting and Surrounding Character

The subject land is located on the western side of Jeffcott Street, North Adelaide, and is comprised of a single allotment that has been previously subdivided.

The stone dwelling is set on a rectangular allotment and is a two-storey detached dwelling of Victorian architecture. The property is listed as a Local Heritage Place in the Adelaide (City) Council's Development plan. To the north are two similar buildings, also listed as Local Heritage Places. To the south is a State Heritage Place, the Former Christ Church that has been adapted as dwellings.

At the southern end of Jeffcott Street, Carclew House is located approximately 200 metres from the subject property. Aquinas College is situated opposite Carclew House on Jeffcott Street, and occupies a significant portion of the street frontage.

The Subject dwelling is set behind a masonry front fence with decorative cast iron palisade and gate.

The front setting has been compromised by the placement of an electrical transformer.

1.8 Existing Heritage Listing

The dwelling at 85-89 Jeffcott Street, North Adelaide, is listed as a Local Heritage Place and is included in the Adelaide (City) Development Plan Table Adel/2: Schedule Of Local Heritage Places as follows:

85-89 Jeffcott Street NORTH ADELAIDE	House & fence; Two storey Victorian residence, including interior and masonry and iron fence			CT 5332/810	a d	530
88-94 Jeffcott Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5018/515	a d	515
91-95 Jeffcott Street NORTH ADELAIDE	House and fence; Two storey Victorian residence, including interior and masonry and iron fence			CT 5301/963	a d	531
97-99 Jeffcott Street NORTH ADELAIDE	House and fence; Two storey Victorian residence, including interior and masonry and iron fence			CT 5285/932	a d	532

Figure 4 Part of Table Adel/2 Schedule of Local Heritage Places
Source: Adelaide (City) Development Plan.

As demonstrated in the above table, the subject property is one of a group of three listed places, 85-89, 91-95 and 97-99 Jeffcott Street.

The subject dwelling, along with the additional two dwellings within the group of three, have been listed as Local Heritage Places because they are considered to fulfil Criteria (a) and (d) under Section 23(4) of the Development Act, which creates framework for the designation of Local heritage Places.

The specific criteria:

- (a) It displays historical, economic or social themes that are of importance to the local area;
- (d) It displays aesthetic merit, design characteristics or construction techniques of significance to the local area.

Also of relevance is the description of the subject property, which includes the exterior and interior of the original building, built in 1882-1883, and the front boundary fence.

During inspections of the subject dwelling the interior finishes and surfaces including ceilings, wall finishes and decoration, fireplaces and doors were noted as being non-original. Only the spatial arrangement of the front portion of the dwelling appears original.

Therefore the inclusion of the interior for this dwelling is questionable.

1.9 Existing Adjacent State Heritage Listings

The Former Christ Church, Christ Church and Bishop's Court are State Heritage Places and are in close proximity to the subject land. The following table demonstrates many other State Heritage listed properties located nearby the subject land.

Property Address	Description of Place	Lot	Plan No.	Cert. of Title	State Heritage Place No.
81 Jeffcott Street, North Adelaide	Former Christ Church & Outbuilding	A1014 A1015	D89041 D89041	CT 6093/135 CT 6093/136	13488
36-40 Palmer Place, North Adelaide	Christ Church (Anglican)	A95	F207180	CT 5874/229	10866
35 Palmer Place, North Adelaide	Christ Church Rectory (Anglican)	A95	F207180	CT 5874/229	10865
41-50 Palmer Place, North Adelaide	Bishop's Court & Former Stables	A7 A8	D37134 D37134	CT 5141/71 CT 6033/30	13512

Figure 5 Part of Table Adell/1 Schedule of State Heritage Places
Source: Adelaide (City) Development Plan.

In the Figure below, State Heritage Places are represented in red and the Local Heritage Places are in blue.



Figure 6 Heritage Places Overlay
Source: Location SA Map Viewer.

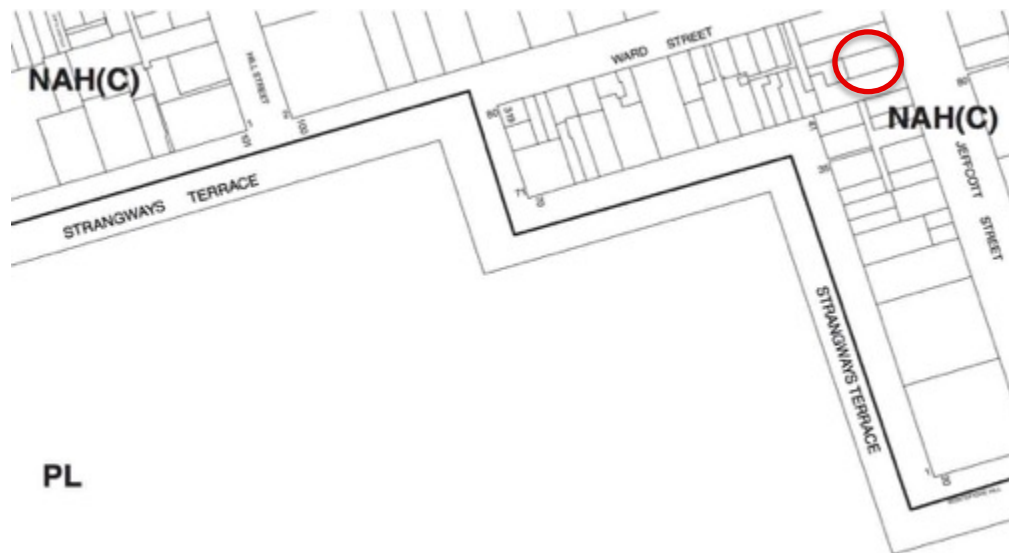


Figure 7 Map Adel/12
Source: Adelaide (City) Development Plan.

1.10 Zoning of Site

The subject land is located within the North Adelaide Historic (Conservation) Zone and Carclew Policy Area. It is proximate to the Park Lands Zone as indicated in Map Adel/12, but separated by built form.

There are state and local items within the immediate area along Jeffcott Street. These heritage places are illustrated on the map below.



Figure 8 Map Adel/43
Source: Adelaide (City) Development Plan.

The Park Lands Zone is considered to be considerably and sufficiently separated so as not to be affected by the proposed development.

2.0 Historical Outline


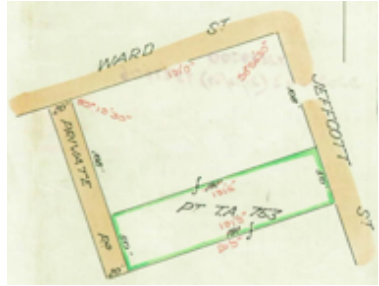
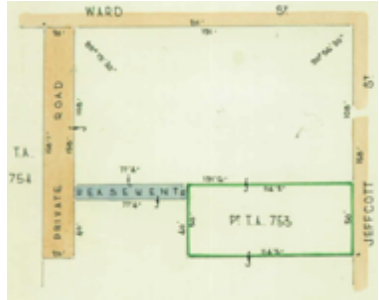
2.1 History

The dwelling is a two-storey bluestone villa and was constructed during 1882 and 1883. Built for Michael Odlum, the subject property and two adjacent buildings were initially leased to wealthy tenants.

During the 1920s, the subject property and two adjacent buildings were linked together and utilised as a boarding house and were then converted to the Milford House Private Hotel. In the 1950s it was noted as South Australia's fourth largest private hotel, accommodating from 65 to 85 guests. In 1965, for nearly 30 years, the properties became the Milford Private Hospital. Once the hospital closed, the houses were then sold and individually restored.

2.1.1 Certificates of Title

A review of the Certificates of Title for the property reveal a history of ownership of the place. This information is summarised in the following table:

CT No.	Date	Name	Comment	
Volume 382 Folio 184	13 February 1882	Michael Odlum	Odlum family takes ownership	
Volume 1729 Folio 195	21 June 1939	Catherine Mary Claxton	Claxton family takes ownership	
Volume 3542 Folio 56	23 January 1968	Adelaide Building Company Proprietary Limited	Adelaide Building Company Proprietary Limited takes ownership. Allotment is subdivided and new easement is created at rear	

2.1.2 Historic Photographs



Figure 9 Adjacent buildings, 1934
Source: State Library of South Australia.

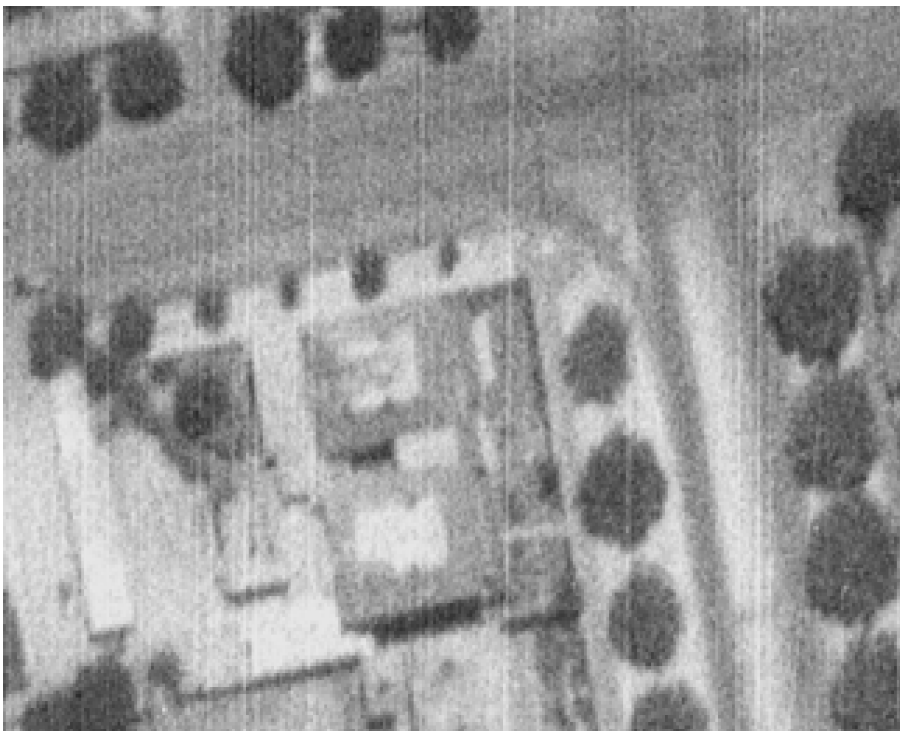


Figure 10 Aerial view, 1948
Source: Department of Environment, Water and Natural Resources, Mapland.



Figure 11 Milford Private Hospital demonstrating linkage between buildings, 1965
Source: State Library of Victoria.

3.0 Existing Subject Property

3.1 Description of Existing

85-89 Jeffcott Street is a detached two-storey bluestone villa of a Victorian style architecture. The subject land is located within North Adelaide, south of the junction of Jeffcott Street and Ward Street. It is the most southern of three now detached two storey Victorian mansions, each of which are Local Heritage Places. The Subject Land is situated on an allotment size of 520 square metres, with a street frontage of approximately 14.8m and depth of 34.6m. Vehicular access is through the right of way at the rear of the property, which allows for access to a laneway and Ward Street.

The Victorian symmetrically fronted residence was significantly altered throughout the 1980s and has rear additions on the ground and first floors. Portions of the original building are obscured due to the dwelling being substantially altered since its initial construction. The western façade consists of a rear two-storey lean-to addition, which is predominantly brickwork in contrast to the original stonework. The ground floor addition is utilised as a casual dining space, laundry and bathroom, whilst the first floor addition is predominately bedrooms and bathrooms. It is also noted that the ceilings of the existing first floor are non-original have been restored recently.

According to the North Adelaide Heritage Survey (2004), each of the group of three buildings demonstrates significant stylistic components, including “rendered quoins and facings to windows and doors, verandah with cast iron decorative bracket and frieze elements, and eaves brackets”.

The frontages of the three listed properties also feature a masonry and iron fence, which is characteristic of the Victorian architectural style.

The subject land is imperative as it contributes substantially to the intact streetscape and illustrates the nineteenth century character and development of North Adelaide.

3.2 Description of Previous Works

The following drawings provide evidence of previous works:

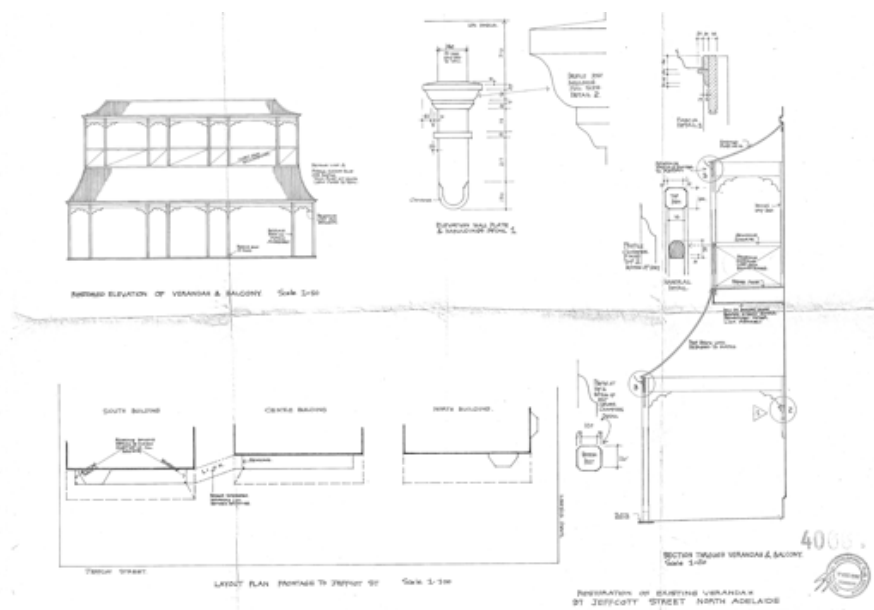


Figure 12 Removal of Balcony Link, 1994
Source: Owner.

The above drawing (Figure 12), provided by the owner, indicate the removal of a link bridge to the dwelling to the north. It also notes conservation works to the verandah and balcony.

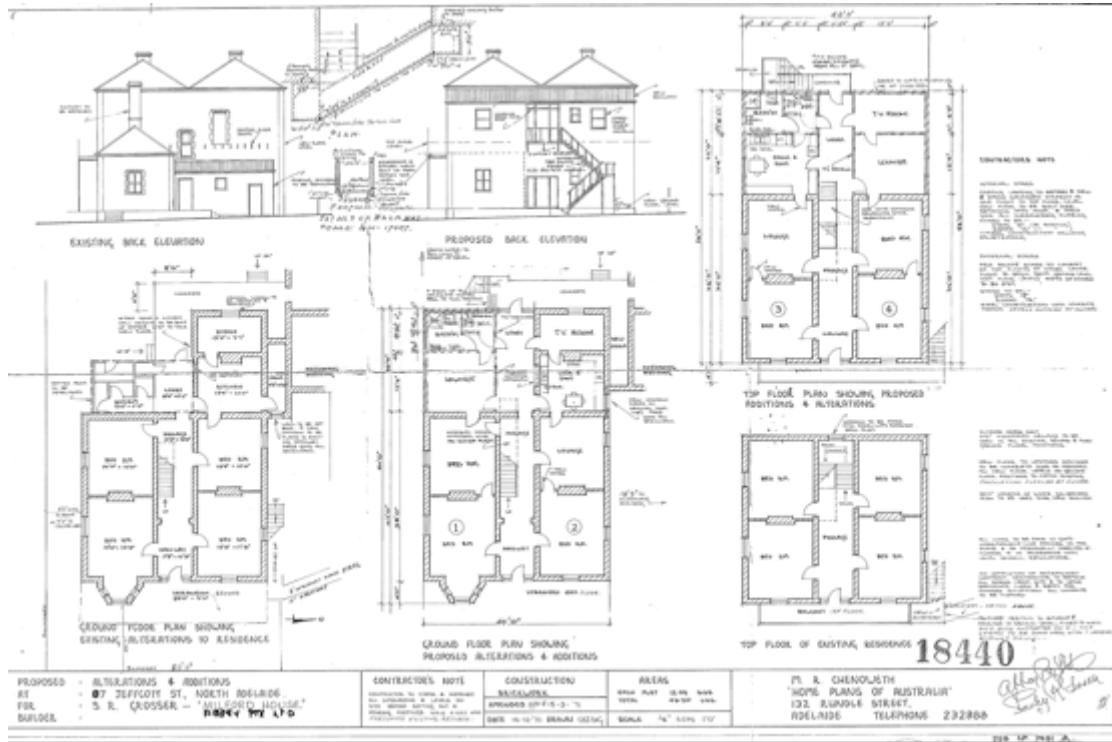


Figure 13 Alterations and Additions to Existing Dwelling 1970-71
Source: Owner

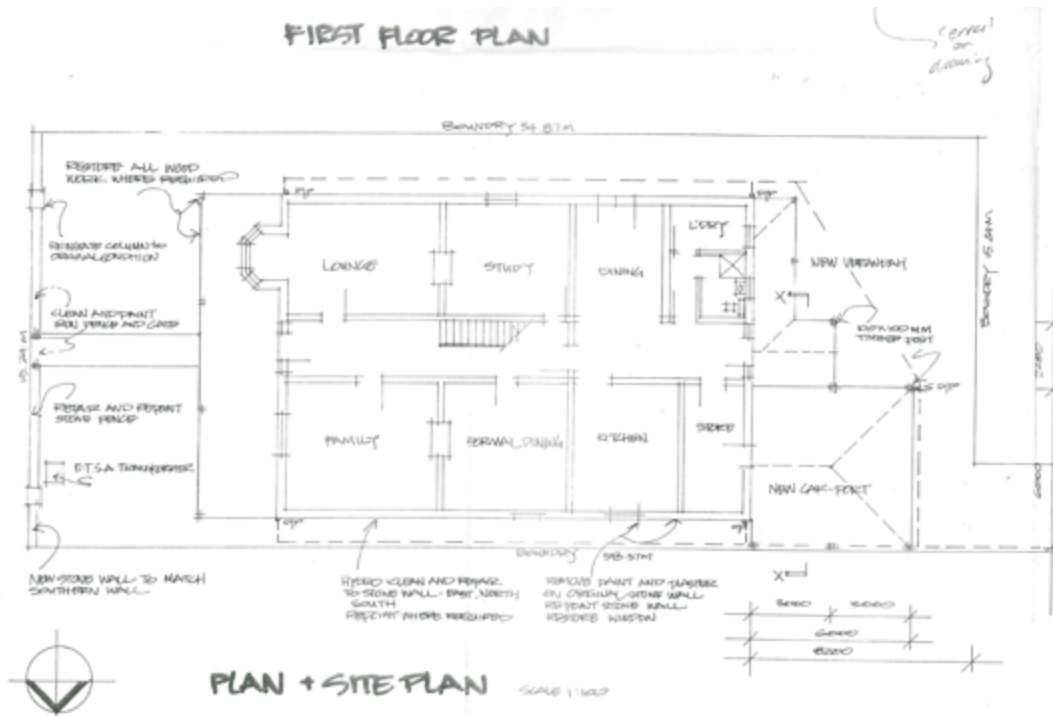


Figure 14 Recent Carport and Verandah addition Undated
Source: Owner.

3.3 Current Photographs



Figure 15 Subject property, Jeffcott St, North Adelaide
Source: Alexander Brown Architects, 2017.



Figure 16 Subject property, Jeffcott St, North Adelaide
Source: Alexander Brown Architects, 2017.



Figure 17 Chimneys within the bedrooms upstairs: note non-original cornice
Source: Alexander Brown Architects, 2017.



Figure 18 Non-original ceiling, cornice, light fitting and air conditioning
Source: Alexander Brown Architects, 2017.



Figure 19 Lower level corridor and stairs
Source: Flightpath Architects, 2017

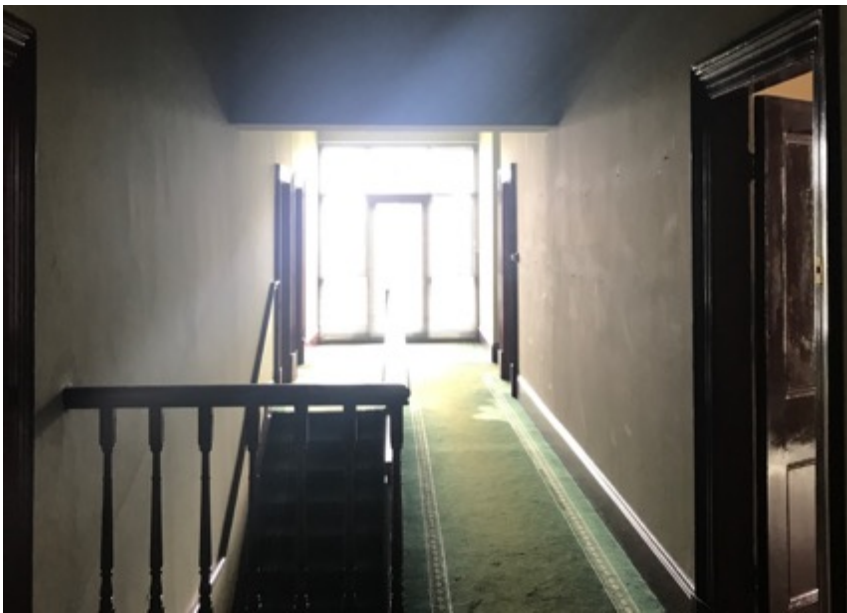


Figure 20 Upstairs corridor looking west to non-original window
Source: Alexander Brown Architects, 2017.



Figure 21 Lower level kitchen to rear portion of building
Source: Flightpath Architects, 2017



Figure 22 Lower level bar to rear portion of building
Source: Flightpath Architects, 2017



Figure 23 View into adjacent State Heritage listed allotment from upstairs corridor
Source: Alexander Brown Architects, 2017



Figure 24 Front balcony
Source: Alexander Brown Architects, 2017.



Figure 25 Front balcony
Source: Alexander Brown Architects, 2017.



Figure 26 Existing balcony in poor state of repair, Flightpath Architects, 2017
Source: Flightpath Architects, 2017



Figure 27 Side of property, demonstrating later addition
Source: Alexander Brown Architects, 2017.



Figure 28 Rear backyard with carport addition
Source: Alexander Brown Architects, 2017.



Figure 29 Backyard - right of way to rear laneway
Source: Alexander Brown Architects, 2017.



*Figure 30 Front yard of adjacent property
Source: Alexander Brown Architects, 2017.*

4.0 Heritage Value

4.1 The Local Heritage Place

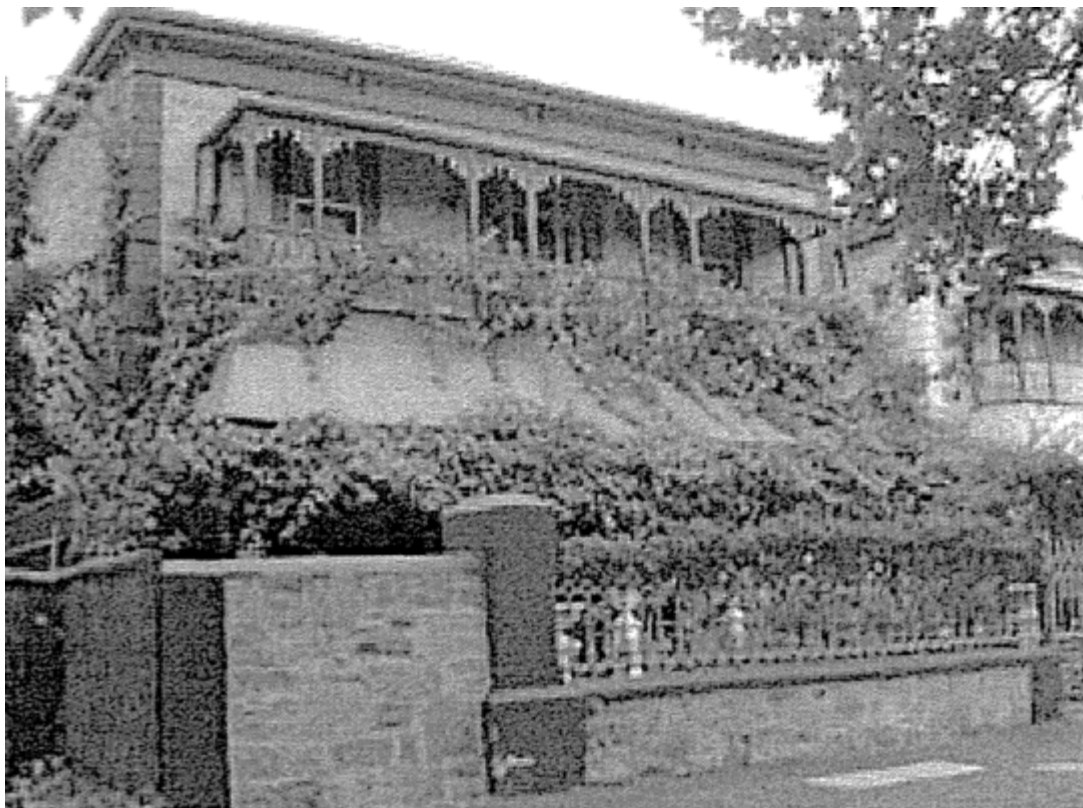


Figure 31 View of frontage
Source: Heritage Survey, 2004..

The subject Local Heritage Place is one of a group of three prominent, now well-spaced, two storey dwellings that were constructed at different times and by different builders. While Michael Odium commenced the construction of the northern most of the three, Evans & Evans completed the three in 1883.

The survey describes the houses as excellent examples of 1880s symmetrically fronted two storey sandstone residences, that display important stylistic elements including rendered quoins and facings to windows and doors, verandah with cast iron decorative bracket and frieze elements, and eaves brackets. They also retains a masonry and iron fence characteristic of this house style.

The survey notes this group is significant as they contribute to a notable substantially intact streetscape of diverse yet cohesive buildings, all which illustrate the nineteenth century character and development of North Adelaide.

The subject house is an important example of the type of residences constructed in North Adelaide during the 1870s-1880s, and reflects the design, details and building materials characteristic of that time.

The significant number of stone and brick residences, like this house, constructed between 1870 and 1890 throughout this section of the city, are an important element of the distinctive historic residential character of North Adelaide.

The survey describes the subject property as including the *external form, materials and details of this Victorian symmetrically fronted residence, including the walls, verandah and roof form associated with the house style.*

The description in the survey is different from that in Table Adel/2, which includes the fence and interior.

The dwelling has been listed as a Local Heritage Place because it is considered to fulfil Criteria (a) and (d) under Section 23(4) of the Development Act, which creates framework for the designation of Local heritage Places.

4.2 Use

The Survey notes that while the property was initially leased to individual tenants.

However it is of relevance that large residences such as these became too large for early twentieth century families and were converted for institutional homes, professional rooms and guests or boarding houses.

The houses on this site were first used as a boarding house in the 1920s. Around 1927 the houses became known as the Milford House Private Hotel and in 1965 they became the Milford Private Hospital. In the mid 1950s, the Milford House Private Hotel was reputed to be the fourth largest private hospital in South Australia, accommodating from 65 to 85 guests. Until the 1990s they were linked together and utilised as 'a good class private hospital for aged and infirm patients'.

The repurposing as detached single dwellings occurred as late as 1990.

It is of relevance that the dwelling is now considered too large for early twenty first century families, giving rise to this proposal.

It is the physical demonstration of a large two storey mansion that would appear to be of greater Heritage Value than the use, which has changed through time to suit economic circumstances and resulted in several internal and external changes.

4.3 Heritage Value

The Primary Heritage Value is considered to be the Jeffcott Street appearance of the dwelling, as part of the group of three well-spaced two storey dwellings, that demonstrates the continued construction of residences on recently subdivided Town Acres, particularly during the 1880s.

It is considered also that, despite the repurposing of the former hospital to three detached dwellings, the dwelling, and group of dwellings, continue to display aesthetic merit and design characteristics of significance to North Adelaide as typical 1880s Victorian residences displaying consistent use of materials such as bluestone/sandstone masonry walls, detailed render and highly decorative cast iron.

Physical and documentary evidence indicates the street facing appearance has been altered and while the interior of the northern two dwellings was not inspected, it is clear the interior of the subject dwelling has been modernised.

During inspections of the subject dwelling the interior finishes and surfaces including ceilings, wall finishes and decoration, fireplaces and doors were noted as being non-original. Only the spatial arrangement of the front portion of the dwelling appears original.

Therefore the inclusion of the interior for this dwelling is questionable.

4.4 A recommended approach

To preserve the Primary Heritage Value it is important that the Jeffcott Street appearance of the subject dwelling and the group of three well-spaced two storey dwellings be retained.

This approach would retain the external form, materials and details of this Victorian symmetrically fronted residence, including the walls, verandah and roof form associated with the house style.

There are two rooms to each side of a central corridor on each level. It is recommended the front portion of the two storey dwelling and its roof form be retained.

5.0 Proposed Development

5.1 Initial Proposal

The plans below indicate the initial proposal submitted to Council in 2017, without the benefit of heritage advice.

A broad description of the proposal included:

- Subdivision to form an irregular shaped allotment;
- Fencing to the front garden to create Private Open Space;
- Demolition of the rear portion;
- A side addition to the south side;
- New single storey double carport with turning circle;
- Internal demolition;
- Formation of doorways to verandah and balcony;
- New window opening on south side.



Figure 32 Initially submitted drawings
Source: Alexander Brown Architects, 2017.

5.2 City of Adelaide Development Assessment Initial Advice

The following advice was received from the City of Adelaide's Heritage Consultant and Senior Planner, provided in relation to the initially submitted design regarding potential impacts on the Local Heritage Place and its setting:

- *The proposed works adversely impact on historic fabric of high significance in seeking to demolish and remove existing windows and a door on the front façade at ground floor and first floor level and converting the openings to accommodate new French doors.*
- *Proposed French doors and a canopy on the southern side of the building also adversely impact on historic fabric.*
- *There will be impact on internal fabric which is included in the extent of listing.*
- *All historic fabric and architectural features of significance should be retained including chimneys (not clear on the drawings), external doors, windows, sidelights and fanlights visible from the street, verandah and balcony detailing. The proposed development does not achieve this outcome.*
- *The proposed relatively large additions and garaging leave no private open space at the rear, creating the need for private open space at the front.*
- *As a consequence, a fence is proposed behind the historic fence. Although not detailed on the documents, the proposed fence would inevitably impact on the streetscape appearance and the context and setting of the historic building.*
- *There is reference on the drawing legend to a "Stratco Good Neighbour fence" but I couldn't see any reference to its proposed location on the plans nor its proposed height. I wouldn't consider such a fence appropriate if visible from the front of the historic dwelling.*
- *There is also no detail of how the private open spaces will be separated but any fencing through the verandah and front garden would adversely impact on historic fabric, the appearance of the historic building and its context and setting.*
- *The historic dwelling is clearly in need of conservation work but there is no mention of any such works in the documentation other than repainting of balcony/verandah timberwork and no colour scheme has been provided.*
- *How is overlooking/privacy to be addressed from upper levels?*
- *How does the car stacker work? i.e. is it located partly below ground? What is its' noise /dB(A) output when in operation?*
- *Is a land division proposed alongside this DA?*

5.3 Preliminary Advice to Applicant, November 2017

Flightpath Architects provided comment and advice regarding the preliminary design of the development associated with the local heritage place, November 2017.

This assessment was based on the following drawings:

Drawing Title	Date	Project No.	Drawing No.	Issue
ARCHITECTURAL				
EXISTING FLOOR PLANS	25/10/2017	17-011	01	C
PROPOSED FLOOR PLANS	25/10/2017	17-011	02	F
EXISTING ELEVATIONS	01/06/2017	16-068	03	B
PROPOSED ELEVATIONS	01/06/2017	16-068	04	B

This preliminary advice to Alexander Brown Architects resulted in the following amendments:

- Modification to master bedroom robe and en-suite, resulting in the en-suite no longer positioned above entry and the retention of existing fireplaces;
- Ground floor study of Residence 01 has been reduced in size to maintain the existing external wall;
- Upper level bedroom/bathroom and lounge of Residence 02 has been reconfigured to allow for the new location of the master en-suite;
- The private open space has been allocated to the rear; the outdoor terrace has been added with a 1.5m high screen around the perimeter to manage overlooking.

Flightpath Architects provided additional advice regarding the design of the development associated with the heritage place which resulted in the following amendments:

- Identification of original and non-original structure;
- Realignment of dividing line between Residence 01 and Residence 02 and reconfiguration of internal spaces to allow the line of the central corridor to be retained and to reduce the extent of internal demolition to original walls and fireplaces;
- Reconfiguration of level 1 front rooms to reinforce central corridor and minimise alterations to symmetrical front façade and balcony;
- Relocation of the kitchen and primary living space to the upper level, with adjacent private open space provided on the raised outdoor terrace;
- Reconfiguration of front entrance and landscaping to maintain the symmetrical appearance of the original dwelling as viewed from Jeffcott Street;
- Retention of original windows where possible;
- Modification to the design of the extension to create separation from the original dwelling and to achieve a compatible roof form;

- Refurbishment of external historic fabric;
- Lower ceiling height to extension;
- Reconfiguration of carparking and bin storage;
- Linear staircase to Residence 02 + addition of lift.

5.4 Description of amended Proposed Works

This description is based upon the following final drawings:

Drawing Title	Date	Project No.	Drawing No.	Issue
ARCHITECTURAL				
SITE PLAN AND SURVEY	23.01.2018	17-011	PL01.E	E
EXISTING FLOOR PLANS	08.03.2018	17-011	PL01.E	E
PROPOSED FLOORPLANS	20.06.2018	17-011	PL03.K	K
EXISTING ELEVATIONS	11.05.2018	17-011	PL2.D	E
PROPOSED ELEVATIONS	20.06.2018	16-068	SK05.E	E
LAND DIVISION / PRIVATE OPEN SPACE	10.05.2018	17-011	SK06.B	B
STREET SCAPE	20.06.2018	17-011	SK07.C	C

The proposal involves the conversion of the existing property into a residential flat building incorporating two dwellings. In order to transform the property, an existing 1970 rear addition and replaced with a new addition. The drawings below clearly indicate the front four rooms of Heritage Value to be retained.

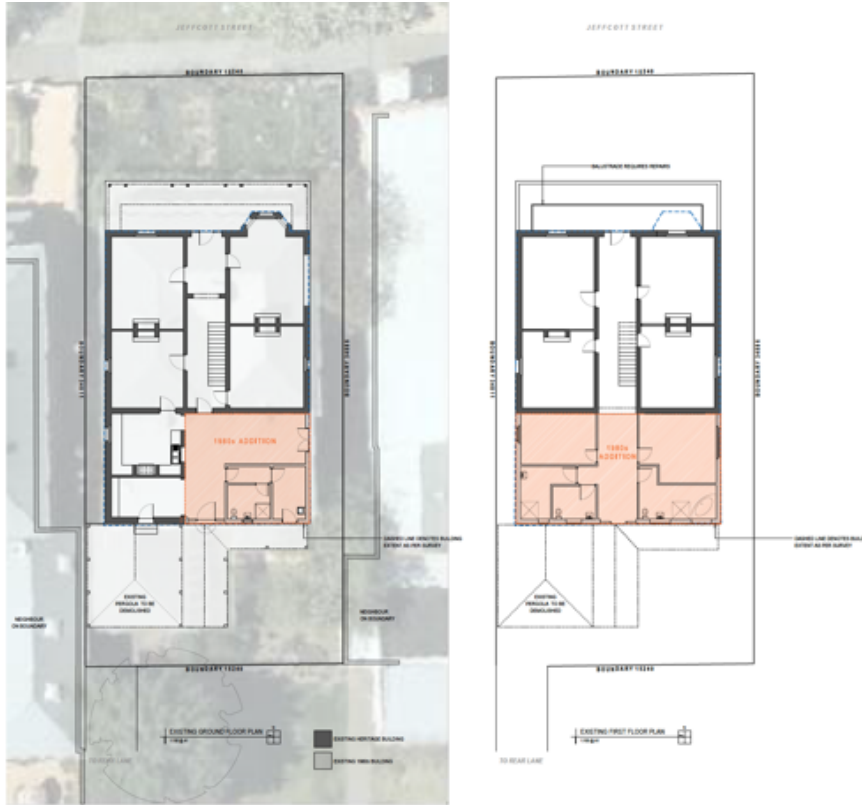


Figure 33 Revised drawings showing later additions in orange
Source: Alexander Brown Architects, 2017.

The elevations below also demonstrate the important front, side walls and main roof form to be retained and conserved.



Figure 34 Revised drawings showing later additions in orange
Source: Alexander Brown Architects, 2017.

The proposed floor plans indicate the creation of two dwellings with the division occurring on the southern wall of the corridor. The proposed works are as described below.

Front Garden:

Front gate and wall to be retained and conserved;

Low modern directional signage, hedge, paving and pathways to distinguish between Residence 1 to the north side and Residence 2 to the south side.

Ground Floor:

Original external walls retained, with new double door opening to the south side, set back by approximately 2500 from the corner;

Original front entrance retained as access to the northern dwelling and existing staircase providing

Original verandah retained, conserved and enhanced; a new discrete 1500mm high glass division will distinguish between

Adaptation of previously altered Ground Floor rooms (Kitchen) to the north west rear, with original walling retained to form Bedroom 2 and Bathroom;

The second dwelling to occur on the south side of the main corridor;

Internal opening to rooms on the south side and new internal wall;

New covered way and Entry Deck to Residence 02;

Rear addition constructed to the south boundary, providing the main access to the southern dwelling consisting of a Bedroom and bathroom, providing similar accommodation including an internal lift.

First Floor:

Original external walls retained, with new door opening to balcony;

Internal divisions in each of the western rooms to form bathrooms;

Opening in original west wall;

New open kitchen and living area;

New rear private terraced balcony areas with flat openable pergola above the carports and vehicle manoeuvring area and planted edges to avoid overlooking of neighbouring properties.



Figure 35 Revised drawings
 Source: Alexander Brown Architects, 2017.



Figure 36 Revised drawings
 Source: Alexander Brown Architects, 2017.

The form of this addition is to be of a simple rectangular form that is similar to the existing addition, although extends closer to the rear and aligned to a side boundary.

A lower element, with a flat roof, provides separation between the original dwelling and the proposed development. The walls of the new addition are of rendered finishes (Off White and Medium Dark Grey) to interrupt the building mass. The main roof over the addition is hipped form with eaves and gutter heights that align with those of the original roof.

The proposed rear addition is constructed to the southern boundary, but setback behind the heritage building, maintaining the original setbacks for the depth of the original dwelling.

The original rooms of Heritage Value will be retained, aside from: one wall in the rear portion of the northern side of the building, to accommodate Bedroom 2 within Residence 01; new door openings between rooms; and four existing door openings along the original corridor to be sealed shut to separate the two dwellings.

Residence 01 will use the building's original front entrance, central corridor and original staircase position. Residence 02 will have a new entrance side setback within the new addition and accessed by the space to the south of the building via a covered side entry deck with the main entrance through the proposed addition, set back from the original building.

A new staircase is proposed for Residence 02 at the rear southern side of the property. A wall in the rear portion of the northern side of the building is proposed to be removed with a new wall constructed so as to accommodate Bedroom 2 within Residence 01.

Both dwellings have lounge and bedrooms spaces located on the ground floor at the front of each dwelling with bathroom, laundry and additional bedroom located to the rear. Both dwellings have lifts incorporated within the rear of the building.

The upper floor of the dwellings is primarily comprised of master bedroom and ensuite to the front original portions and open plan kitchen, living and dining to the rear.

A lightweight obscure glass wall is proposed to the front portion of Residence 01's hallway, on the upper level, to create space for a robe while maintaining natural light to the corridor and a sense of the original hallway.

A new timber deck is proposed to the rear of the building to create outdoor terraces that provide private open space off the primary living area, at the upper level. A lightweight timber pergola is proposed to shelter a large portion of the terraces and timber screening and planter boxes provide visual privacy.

Additional private open space is provided at the original front balcony, which is separated by an obscure glass privacy screen. The approximate combined size of the private open space for Residence 01 is 52.4m² whilst the size of Residence 02 (excluding the entry deck) is 41.5m².

Parking for both dwellings is proposed at the rear of the building, on the southern side, below the timber deck. Two car parks are provided for each dwelling through the use of a mechanical car park stacker system. In order to facilitate vehicle movement in a forward direction, a car turntable is also proposed at the rear of the property for the tenants. Access to the subject property is permitted via the right of way over the adjoining allotment.

The proposed development retains the existing historic fence and gate on Jeffcott Street. Access to both dwellings from Jeffcott Street is enabled through the creation of a shared zone immediately behind the central front entrance gate. The two gates have been removed, which now allows for a continuous pathway as one enters both properties. There will also be a small bollard on either side of the pathway to denote the address of each dwelling. A proposed hedge fence, set back from the front fence, separates the two front gardens and a

glass partition wall separates the two front porch areas . New landscaping is proposed to the front garden area.

Two new door openings are proposed to be created to Residence 02. On the ground floor, a new side door to the lounge room will be created on the southern wall, with a timber frame profile to match the existing doors. On level one, one existing street facing window (left hand side when viewed from Jeffcott Street) will be converted to a door opening with complementary timber frame profile and timber mullion to align with the existing windows. The rendered brickwork around the altered opening will be extended down to the balcony floor level. A new window is proposed at the rear of the northern, side, at ground level, to Bedroom 2 of Residence 01.

Proposed external refurbishment works include repointing of the existing stone walls (extent to be confirmed), repainting of previously painted surfaces on the front façade and repainting of the existing corrugated roof sheeting. The existing front balcony balustrade is proposed to be retained and repaired.

5.5 Proposed Conservation Work

The proposed conservation works will include and be guided by the following:

- Adaptation Works;
- Conservation of balcony and verandah;
- Repointing of Ground Floor walls;
- External painting;
- Conservation of front fence and gate



Figure 13 Front view
Source: Flightpath Architects, 2018.

Adaptation Works

New external openings will be limited to the following:

Removal of the walling below the existing east first floor window to the south side to form a doorway; the render to the side of the window will be extended to the balcony floor and the configuration of the new door will match the existing window to be replaced;

The new opening to the south wall of the Ground floor will be set back from the front corner to ensure a substantial side return is maintained; only the reveals of the new opening will be rendered. There will be no endeavour to replicate original quoins.

New internal openings for doorways will have simple plastered reveals. There will be no replication of architraves or skirtings. Openings in the west wall will retain masonry piers to each side and masonry above to ensure the legibility of the wall remains.

Non-original embellishment of internal such as dado rails and wall paper will be removed and the walls returned to a simple painted plaster finish.

New internal walls will have a shadow line junction with original walling to maintain the distinction between old and new. New walls will have a shadow line junction with ceilings.

Mainly at first floor, modern cornices will be removed from ceiling to wall junctions and a new simple square set cornice.

New hydraulic services to the first floor will be placed and run to avoid damage to any remaining original ground floor ceilings. Accordingly upper floor wet areas have been relocated from the corridor to the western rooms.

Conservation of balcony and verandah

The balcony is in urgent need of repair and will form a separate application for urgent conservation works and assistance through the Heritage Incentives Scheme.

The upper roof sheeting indicates movement away from the building, requiring temporary propping while structural elements such as verandah and balcony posts and the Ground Floor slab are replaced.



Figure 38 Dilapidation Inspection: Balcony
Source: Flightpath Architects, July 2018.

The proposed reconstruction works include:

- Temporary removal of roof sheeting and reinstatement upon completion;
- Replacement of balcony posts and skirtings;
- Provision of a hardwood timber edge to prevent ingress of water to the ends of boards;
- Temporary removal and restoration of cast iron balustrade including removal of over paint, priming and recoating;
- Replacement of materially unsound handrail with a matching profile;
- Replacement of previously spliced Ground Floor posts with matching posts in continuous lengths;
- Replacement of cracked Ground Floor verandah floor with new concrete slab to be tiled
- Retention of the balcony flooring and matchboard soffit and replacement of matchboard to the edge where necessary.



Figure 39 Balcony Dilapidation
Source: Flightpath Architects, 2018.



Figure 40 Balcony Dilapidation
Source: Flightpath Architects, July 2018.



Figure 41 Ground Floor Verandah Posts and cracked verandah slab
Source: Flightpath Architects, July 2018.

Repointing of Ground Floor walls

East, South and North walls require repointing to a height of approximately 600mm above floor level.



Figure 42 Repointing extent Ground Floor side and front walls
Source: Flightpath Architects, July 2018..

External painting

External painting will be limited to previously painted surfaces such as timber framing, windows and doors, roof sheeting and render to the dwelling, front wall and palisade.



Figure 43 Existing colours to be reviewed
Source: Flightpath Architects, July 2018.

Conservation of front fence and gate

The front fence line, with typical working for stonework, brick quoins and cast iron, will be conserved.

The stone walling and rendered piers will be repointed. Cast iron palisade including posts will be removed and over painting removed, primed and recoated prior to reinstatement.



Figure 44 Front wall to be conserved
Source: Flightpath Architects, July 2018.

6.0 Discussion and Assessment of Heritage Impact

6.1 Discussion

Heritage Value

The street facing elevation and front masonry and iron fence are in original condition and are significant in contributing to the heritage value and setting of the Heritage Place and built form of the locality.

The front garden of the property has been altered considerably and compromised through the placement of the electrical transformer. The front garden is considered of lesser significance in this assessment.

This 1970's addition is not of significance.

Several alterations and changes of use and various internal alterations, including recent ceiling replacements, have compromised the internal integrity of the Local Heritage Place.

The exterior of the dwelling, as one of a group of three similar mansion dwellings, will be conserved and enhanced.

The amended proposal has relocated the outdoor living to the rear, removing and minimising evidence of the proposed land division, limited to subtle numbering and directional markers in the front garden and two low glass dividing partitions at both level. This has been confirmed with a Building Surveyor as sufficient to achieve NCC Compliance.

The amended proposal presents a notably simplified subdivision with improved heritage outcomes achieved by;

- Relocating private open space relocated to the rear of the property, allowing the front garden setting to be preserved and the appearance of single storey dwelling at the front to be maintained;
- Reworking the internal subdivision and reinforcing the central corridor especially at the upper level;
- Reworking the internal layout to reduce the impact on internal fabric including walls and fireplaces;
- Providing separation between the original structure and proposed rear addition;
- Providing a separate and complementary roof form to the proposed rear addition;
- Reducing the number of new openings and the impact on heritage fabric;
- Conservations works to external building fabric;
- Conservation of front fence line with the typical working for stonework, brick quoins and cast iron.

The amended proposal has retained the heritage value of the Local Heritage Place and its built form contribution to the locality.

The subject land is in the Adelaide (City) Development Plan within the North Adelaide Historic (Conservation) Zone and Carclew Policy Area, as indicated in Maps Adel/7 and Adel/38.

The Heritage and Conservation provisions in the Development Plan seek development that “retains the heritage value and setting of a heritage place and its built form contribution to the locality” (Objective 43 and PDC136).

However, the plan also contemplates development that facilitates “its continued or adaptive use, and utilise materials, finishes, setbacks, scale and other built form qualities that are complementary to the heritage place” (PDC 137).

Demolition is tolerated when “it can be demonstrated that the place, or those Elements of Heritage Value that are proposed to be demolished, have become so distressed in condition or diminished in integrity that the remaining fabric is no longer capable of adequately representing its heritage value as a local heritage place” (PDC 138).

PDC 149 places importance on views of the place being conserved and for this reason, attention has been paid to details such as the retention and conservation of the front gate and garden setting by minimising introduced fencing.

This provision also seeks to integrate improvements and additions at the rear or side of the Heritage Place and not in front of elements of identified heritage value, noting that they may be of contemporary design and without dominating the Local Heritage Place (PDC 151).

Identification and assessment of internal heritage fabric has been of importance in confirming the degree of internal change that has occurred demonstrating satisfaction of PDC 152.

PDC 154 in seeking conservation works so that development reinforces heritage value has been satisfied. Through this assessment of Heritage Value the concerns of PDC 157 have been satisfied, because clearly the portion of the place to be demolished is of later construction so as not to diminish the heritage value of the local heritage place. The loss of a small portion of walling below one east facing window is sufficiently screened from view and the replacement element will appear in a double hung window format.

Original front fencing has been retained and conserved as guided by PDC 158.

PDC 160, which seeks land division that creates an additional allotment that is of a size and dimension that will not adversely impact on the setting of the Heritage Place has been satisfied through the simplification of the allotment shape and minimising evidence of change to the allotment pattern. It should also be noted the allotment has previously been divided and the proposed amended and orthogonal allotment shape now corresponds with existing walling.

Thereby vistas to the place, especially inconsideration of the Local Heritage Place as one of a group of three Local Heritage Places, have not materially affected the elements of heritage value of the Heritage Place (PDC 161). PDC 162-166 should also be considered.

The North Adelaide Historic (Conservation) Zone also contains provisions of relevance including PDC 2, which contemplates an increase in the amount of residential accommodation by development of under-utilised sites that can be achieved without adverse impact on the established residential amenity and the historic character of the Zone or relevant Policy Area.

Also PDC 12 contemplates residential flat buildings that are designed to have the appearance of a detached dwelling as viewed from the primary street frontage.

PDC 2 of the Carclew Policy Area considers residential development in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. Carclew Policy Area is described as a generally cohesive townscape of

nineteenth and twentieth century detached houses set in landscaped grounds and imposing two- storey terrace houses. The amended proposal does not challenge this desirable townscape.

6.2 Our Assessment of Heritage Adviser Concerns based on the Initial Proposal (November 2017)

The following commentary is provided in consideration of initial concerns:

Concerns of Heritage Adviser	Amended Design Response
<p>The proposed works adversely impact on historic fabric of high significance in seeking to demolish and remove existing windows and a door on the front façade at ground floor and first floor level and converting the openings to accommodate new French doors.</p>	<p>The dwelling at 85-89 Jeffcott Street is one of a group three mansion dwellings all listed as Local Heritage Places. This proposal retains the physical fabric of Primary Heritage of the individually listed property, as well as the group of three, by affecting a small portion of one of the dwellings. The small portion of works is substantially screened by the verandah roof and also the balcony cast iron balustrade, when viewed from the street. The alterations are considered acceptable, with no diminution of Heritage Value of the individual Local Heritage Place or group of three Local Heritage Places.</p> <p>The amended design proposes one (instead of two) side opening for new French doors to provide natural light, ventilation and access to the Lounge of Residence 02. The timber frame door profile will match the existing window format. The opening is appropriately set back from front elevation so that visibility from the Jeffcott Street will be restricted and screened.</p> <p>An additional window opening is proposed to provide natural light and ventilation to Bedroom 3 of Residence 01. The timber frame window profile will match the existing windows. This window is located at the rear of the original dwelling and will not be visible from Jeffcott Street.</p> <p>The proposed conversion of one upper level street facing window will see a complementary timber frame profile utilised and the alignment of a timber mullion with the existing windows. The rendered brickwork around the altered opening will be extended down to the balcony floor level. The complementary alterations will be appropriately concealed by the existing balcony when viewed from Jeffcott Street.</p> <p>The alterations affect a small proportion of the significant fabric at 85-89 Jeffcott Street. These works are designed to complement existing openings and will have low visual impact on the overall appearance of the original dwelling and group of three dwellings.</p> <p>These minor alterations will have major positive impacts on internal amenity and are critical in enabling the adaptation of this historic dwelling for continued use as two contemporary residences.</p>

<p>Proposed French doors and a canopy on the southern side of the building also adversely impact on historic fabric.</p>	<p>The amended design proposes one (instead of two) side opening for new French doors to provide natural light, ventilation and access to the Lounge of Residence 02. The timber frame door profile will match the existing doors. The opening is appropriately set back from front elevation so that a substantial portion of return walling is retained to screen visibility from the Jeffcott Street.</p> <p>The proposed canopy is designed to provide a sheltered entrance deck for Residence 02. The canopy is supported by columns on the southern side, as shown on PL03.K, that will provide most of the structural support. Fixing to the original wall can be achieved with minimal impact to the historic fabric.</p> <p>The flat, slender and contemporary canopy form is set behind the historic street facing elevation. It offers improvements to the amenity and functionality of this side entry space without dominating the Local Heritage Place.</p>
<p>There will be impact on internal fabric which is included in the extent of listing.</p>	<p>Several changes of use and various internal alterations, including recent ceiling replacements, have compromised the integrity of the internal fabric.</p> <p>The revised design and simplified subdivision, with the reinforced central corridor, have reduced the extent of internal works and impact on walls and fireplaces.</p> <p>Internal works predominantly include sealing of original doorways between the two dwellings, along the central corridor, and the creation of new doorway openings to facilitate circulation throughout Residence 02.</p> <p>One internal wall in the rear portion of the building is proposed to be removed. This rear portion of the house has been previously altered to accommodate a modern kitchen and bar. The integrity of original fireplaces, walls, ceilings and flooring has been compromised as a result of these alterations.</p> <p>A lightweight obscure glass wall is proposed to the front portion of Residence 01. The impact on original internal fabric will be minimal.</p> <p>The impact of minor internal works on the previously compromised internal fabric is considered of low significance.</p>
<p>All historic fabric and architectural features of significance should be retained including chimneys (not clear on the drawings), external doors, windows, sidelights and fanlights visible from the street, verandah and balcony detailing.</p>	<p>All historic fabric and architectural features are of significance are retained with the exception of minor alterations to accommodate new doors and a window, as discussed above.</p> <p>Proposed conservation works including: repointing of the existing stone walls; repainting of previously painted surfaces on the front façade; repainting of the existing</p>

<p>The proposed development does not achieve this outcome.</p>	<p>corrugated roof sheeting; repair and repainting of the existing front balcony balustrade, will enhance the historic fabric and architectural features.</p>
<p>The proposed relatively large additions and garaging leave no private open space at the rear, creating the need for private open space at the front.</p>	<p>The amended design sees private open space predominantly accommodated on raised terraces located at the rear of the dwelling. The front balcony space is also considered in the private open space calculations.</p> <p>The front garden setting has been preserved in the amended proposal.</p> <p>An innovative carparking solution is accommodated within a shared zone to the rear of the building.</p>
<p>As a consequence, a fence is proposed behind the historic fence. Although not detailed on the documents, the proposed fence would inevitably impact on the streetscape appearance and the context and setting of the historic building.</p>	<p>The aforementioned fence has been deleted from the amended proposal.</p> <p>The amended design retains the existing historic fence, gate and streetscape setting on Jeffcott Street.</p> <p>Access from Jeffcott Street to both dwellings is enabled through a central shared zone immediately behind the original front entrance gate.</p> <p>Separation is then achieved by a hedge fence that is set back from the front fence and a glass partition wall that separates the two front porch areas. The hedge fence is integrated with the landscaping is considered complementary to the existing garden setting.</p> <p>The amended design preserves the original garden setting and single dwelling appearance of the building at Jeffcott Street.</p>
<p>There is reference on the drawing legend to a "Stratco Good Neighbour fence" but I couldn't see any reference to its proposed location on the plans nor its proposed height. I wouldn't consider such a fence appropriate if visible from the front of the historic dwelling.</p>	<p>Deleted from proposal.</p>
<p>There is also no detail of how the private open spaces will be separated but any fencing through the verandah and front garden would adversely impact on historic fabric, the appearance of the historic building and its context and setting.</p>	<p>The amended proposal sees private open space on the rear Terraces separated by a 1500mm high timber screen.</p> <p>Private open space on the front balconies is separated by a glass partition wall that is 1500mm high where it abuts the wall and then angles down to match the balcony height. Private open space at the front porch is separated in a similar way by an angled glass partition wall. The glass partition walls will provide a subtle, low visual impact separation between the two new residences.</p>

	The historic fabric is retained, as is the single dwelling appearance and garden setting.
The historic dwelling is clearly in need of conservation work but there is no mention of any such works in the documentation other than repainting of balcony/verandah timberwork and no colour scheme has been provided.	Proposed conservation works include: repointing of the existing stone walls; repainting of previously painted surfaces on the front façade; repainting of the existing corrugated roof sheeting; repair and repainting of the existing front balcony balustrade, will enhance the historic fabric and architectural features.
How is overlooking/privacy to be addressed from upper levels?	Overlooking from the raised outdoor terraces is proposed to be mitigated by 1500mm high timber screens. Refer planning report.
How does the car stacker work? i.e. is it located partly below ground? What is its' noise /dB(A) output when in operation?	Refer planning report.
Is a land division proposed alongside this DA?	Refer planning report.

7.0 Conclusion

The subject property is located at 85-89 Jeffcott Street, North Adelaide, and is listed in the City of Adelaide Development Plan as a Local Heritage Place. The subject dwelling is one of a group of three two-storey bluestone villas, each Local Heritage Places, that are significant in contributing to the heritage value and setting of the Heritage Place and built form of the locality.

This proposal involves conversion of the detached dwelling to a residential flat building comprising two dwellings. It includes partial demolition of later additions to the rear of the existing dwelling, construction of a two-storey replacement addition, carport to the rear and an outdoor terrace. The development also includes a Land Division to create two allotments.

Flightpath Architects provided advice on an initial scheme which led to positive amendments being made to the proposal. This previous advice included the following:

- Identification of original and non-original structure;
- Realignment of dividing line between Residence 01 and Residence 02 and reconfiguration of internal spaces to allow the line of the central corridor to be retained and to reduce the extent of internal demolition to original walls and fireplaces;
- Reconfiguration of level 1 front rooms to reinforce central corridor and minimise alterations to symmetrical front façade and balcony;
- Relocation of the kitchen and primary living space to the upper level, with adjacent private open space provided on the raised outdoor terrace;
- Reconfiguration of front entrance and landscaping to maintain the symmetrical appearance of the original dwelling as viewed from Jeffcott Street;
- Retention of original windows where possible;
- Modification to the design of the extension to create separation from the original dwelling and to achieve a compatible roof form;
- Refurbishment of external historic fabric;
- Lower ceiling height to extension;
- Reconfiguration of carparking and bin storage;
- Linear staircase to Residence 02 + addition of lift.

The resulting amended proposal presents a notably simplified subdivision with improved heritage outcomes achieved by:

- Relocating private open space relocated to the rear of the property, allowing the front garden setting to be preserved and the appearance of single storey dwelling at the front to be maintained;
- Reworking the internal subdivision and reinforcing the central corridor especially at the upper level;
- Reworking the internal layout to reduce the impact on internal fabric including walls and fireplaces;

- Providing separation between the original structure and proposed rear addition;
- Providing a separate and complementary roof form to the proposed rear addition;
- Reducing the number of new openings and the impact on heritage fabric;
- Conservations works to external fabric.

Additionally, proposed conservation works will conserve and enhance the heritage value of the Local Heritage Place and include the following:

- Conservation of balcony and verandah;
- Repointing of Ground Floor walls;
- External painting;
- Conservation of front fence and gate.

The proposal preserves the Local Heritage Place and its built form contribution to the locality and is considered acceptable because:

- The physical fabric of primary heritage value, being the Jeffcott Street appearance of the dwelling, and group of three listed dwellings, is retained;
- Only a small portion of exterior fabric is proposed to be altered and will have low visibility when viewed from Jeffcott Street;
- The external form, materials and details of the Victorian symmetrically fronted residence are preserved and enhanced by proposed conservation works;
- The proposed internal works, which focus on reinforcing the original central corridor, are considered to be acceptable as the existing finishes and surfaces are non-original;
- The proposal offers two space efficient dwellings with improved accessibility for residents and the ongoing use of the heritage place, ensuring its future suitability and relevance.

Appendix 1: Selected Bibliography

Primary Sources

Manuscripts and Archival Material

- Certificates of Title, South Australia. Held in the Lands Titles Office, Adelaide.
- Volume 382 Folio 184. Dated 13 February 1882
- Volume 1729 Folio 195. Dated 21 June 1939
- Volume 3542 Folio 56. Dated 23 January 1968

Secondary Sources

Reports

- McDougall & Vines. *North Adelaide Heritage Survey*. Adelaide, 2004.

Planning Assessment Manager

City of Adelaide

25 Pirie St, Adelaide SA

5001

95 Jeffcott St

North Adelaide

5006

12 Nov 2018

Dear Ms Rutschack,

Re Application DA/429/2017

As the residents of 95 Jeffcott St North Adelaide we wish to express our concerns and objections to some of the proposed external alterations to the property 85-89 Jeffcott St which is adjacent to our home on its southern boundary.

Our objections are based on the fact that:

- it is overlooking our property, particularly a bedroom on the ground floor and also, if a neighbour's tree were removed or died, on our back yard and swimming pool :**
- noise emitted from the balcony;**
- the proximity increasing the risk of fire spreading between the properties, including the increased risk posed by cigarette butts from tenants or fat from a barbeque into our gutter;**
- reduction of access to our gutter and roof when maintenance is required.**

We bought 95 Jeffcott St in December 2002. The previous owners had made extensive alterations to the property presumably approved by Council . According to the architectural plans (last dated 6/3/96) the roof's gutter extended to the southern boundary of our property at a height of 4.2 meters above the ground in the immediate area of the proposed extension of the decking which is proposed at the same height 4.2 meters.

To overcome these problems we request that the plans be modified such that the decking width is reduced so that it extends along the line of the northern wall of the house (a reduction in width of approximately 1.2 meters) and that there is a screen of 1.8meters high and at least a minimum of 1.6meters high surrounding the decking. Currently the decking planned for the northern unit is approximately 1.8 meters wider than that planned for the southern unit.

We are happy to discuss these proposals with the owners of 85-89 Jeffcott St and the architects to try and come to a solution to meet each party's needs.

Yours Sincerely,

James and Catherine Harvey

james.harvey@optusnet.com.au, 0408 835 362

catherineharvey@optusnet.com.au, 0417 858 239

From: Susan Scharnberg on behalf of Duty Planner
Sent: Tuesday, 13 November 2018 2:17 PM
To: Seb Grose
Subject: FW: DA/429/2017
Attachments: DA4292017.docx

Follow Up Flag: Follow up
Flag Status: Flagged

From: Matthew Clarke <mclarke@afc.com.au>
Sent: Tuesday, 13 November 2018 2:10 PM
To: Duty Planner <D.Planner@cityofadelaide.com.au>
Subject: DA/429/2017

Dear Planner,

Please find a list of queries and concerns regarding the Development Application of our neighbouring property. We are located at 81 Jeffcott St North Adelaide and would welcome the opportunity to present these concerns and also to get further information on the application. Unfortunately we only became aware of the development yesterday and as such haven't had a great deal of time to absorb the detail of the application. Wanted however to register these initial queries before the submissions deadline expired.

Thanks Matt Clarke



Matthew Clarke
AFLW Senior Coach / Ruck Coach / Strategy & Projects Coordinator

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DA/429/2017

Planning queries.

Southern Boundary – has an accurate survey been conducted to determine boundary? The current fence line does not accurately reflect the actual property boundary which sits approx. 40cm to the north of fence location.

Shading – the proposed extension being taken out to the southern boundary at a height above 7m will dramatically reduce the natural light available to our state heritage listed property.

Overlooking/Privacy – the proposed deck at the rear of the property will extend to the western boundary and look directly onto the rear yard of our property. The screening with 25% open space and a height of only 1600mm will provide no level of privacy screening to our property. With 3 young children this is of concern.

Noise – with the outdoor entertaining space of the 2 townhouses being located directly on the boundary of our property and above the height of our fence, the screening appears insufficient to decrease noise transfer. 1600mm and 25% open space screening will have no impact on noise.

Additionally the location of an electrical car stacker immediately adjacent to both the southern and western boundaries of the property with no apparent consideration of insulating materials is a concern with regard to noise transfer.

Look forward to providing further input and receiving feedback on these queries.

Regards Matt Clarke

DA/429/2017

10/12/2018



URPS

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ROSE PARK SA 506708 8333 7999
www.urps.com.au
ABN 55 640 546 010

Ref: 16-0171

10 December 2018

Mr Seb Grose
Senior Planner – Development Assessment
City of Adelaide
By email: s.grose@cityofadelaide.com.au

Dear Seb

DA/429/17 - Response to the Representations

Introduction

Thank you for forwarding copies of the representations received during the public notification period.

Representations were received from:

- Mr Matthew Clarke of 81 Jeffcott Street, North Adelaide (directly to the south of the subject land), and
- Mr and Ms James and Catherine Harvey of 95 Jeffcott Street, North Adelaide (directly to the north of the subject land).

To address the concerns of the representors, further advice has been sought from:

- Alexander Brown Architects with respect to overshadowing (please refer to enclosed shadow diagrams)
- Katnich Dodd with respect to the fire separation requirements of the boundary development (as updated on the enclosed amended proposal plans by Alexander Brown Architects), and
- Wohr Parking Systems Australia with respect to the potential for noise from the car stacker.

Katnich Dodd has advised that the northern and southern boundary walls (to the rear balcony) must be constructed to a fire resistance level of not less than 60/60/60¹. The changes to these elevations are now illustrated on the proposal plans.

I further address the potential for overshadowing and noise impacts below.

¹ Fire-Resistance Level is denoted with three figures, for example FRL 60/60/60, the first figure denotes a “structural adequacy” period of 60 minutes; the second figure denotes an “integrity” period of 60 minutes; and the third figure denotes an “insulation” period of 60 minutes.

DA/429/2017

10/12/2018

Representations and Response

Mr Clarke is concerned with the:

- location of the southern boundary
- potential for overshadowing
- potential for overlooking, and
- potential for noise impacts from the proposed balcony and car stacker.

I address these concerns as follows:

Southern boundary

The site has been surveyed. The survey plan as included with the application illustrates the boundary wall of the building at 81 Jeffcott Street to be constructed on the boundary. Mr Clarke is correct in his comments that the existing fence line between the two properties is not located on the boundary.

A portion of the addition is to be constructed on the boundary. The location of this will be confirmed prior to construction to ensure that there is no encroachment of the land at 81 Jeffcott Street.

Overshadowing

Alexander Brown Architects has provided shadow diagrams for the site and the representor's land prior to and post the proposed development. This has been prepared in accordance with Council Wide Principle 27 of the Adelaide City Council Development Plan which states:

Council Wide

Principle 27 Development within or adjoining the City Living Zone, the Adelaide Historic (Conservation) Zone or the North Adelaide Historic (Conservation) Zone should maintain at least two hours of direct sunlight between 9.00am and 3.00pm solar time on 22 June to either the northern facade or at least one ground floor habitable room window (excluding bathroom, toilet, laundry or storage room windows), of any neighbouring residential property and to at least 20 percent of that property's private open space, private landscaped open space or communal open space, where such communal open space provides the primary private open space for any adjacent residential development. Where the existing period of direct sunlight is less than two hours per day or covers less than 20 percent of open space, development should not further reduce it. (underlining added)

As can be seen in the shadow diagrams for the existing dwelling, the representor's dwelling experiences shading from the ground level to the roof level over the majority of the north facing wall at 9am, 12pm and 3pm at the winter solstice.

The extent of additional overshadowing is highlighted in green on the shadow diagrams. As can be seen, the additional overshadowing affects:

- a small portion of the private open space in the early morning (which is unaffected from approximately midday)
- 2 north facing window openings within the undercover patio (i.e. not a habitable room) in the early morning (which are unaffected from approximately midday)

- the wall (with no windows) and roof of a portion of the representor's building which is constructed on their northern boundary, and
- a portion of the roof of the dwelling.

Having considered the shadow diagrams, I consider that the proposed addition:

- will make no change to the shading of any north facing **habitable room windows**, and
- will retain sufficient sunlight to a substantial area of private open space throughout the winter solstice.

I note also that the Adelaide City Development Plan seeks to ensure adequate daylight to buildings by the following provision:

Council Wide

Principle 25 Low scale residential development should ensure an adequate level of sunlight to:

- ground level private or communal open space of adjacent residential development;**
- upper level balconies which provide the primary private open space area for any adjacent residential development;**
- communal open space which provides the primary private open space for any adjacent residential development; and**
- habitable room windows of adjacent residential development.**

Design Technique (this is ONE WAY of meeting part of the above Principle)

25.1 In relation to Principle 26(d), habitable rooms have windows with a horizontal distance between any facing building, measured perpendicular to the face of the window, of 0.9 metres minimum which is clear to the sky (i.e. 0.9 metres between fascias/gutters).

The representor's dwelling has a number of windows its northern façade. The northern wall of the dwelling appears to be setback in the order of 1.5 to 1.8 metres from the southern boundary and features a very small eave overhang (in the order of 300mm).

Factoring in the eave overhang, the setback of that dwelling would be a minimum of 1.2 metres (i.e. greater than 0.9 metres as is sought by the above policy) from the proposed boundary wall. On this basis, I contend that there will be sufficient separation between the buildings to retain an adequate level of sunlight.

Overlooking

The balcony screening has been amended to address the concerns of the representor. It is acknowledged that the screening initially complied with the Development Plan having a height of 1.6 metres and incorporating openings of less than 25%.

While the screening height remains the same, the balcony screen will be of a timber construction with no openings (to also address the noise concerns below). I contend that this is sufficient to minimise direct overlooking in accordance with Council Wide Principle 36.

CITY OF ADELAIDE
ADDITIONAL DOCUMENTS RECEIVED

DA/429/2017
10/12/2018

DA/429/2017

10/12/2018

Noise

Advice has been sought from the car stacker manufacturer. The manufacture has advised that the noise generated by the car stacker system would be the hydraulic power-pack. The power-pack is mounted on the ground as part of the stacking system.

The manufacturer can provide a noise protection package to minimise the noise of the hydraulic power-pack.

The hydraulic power-pack will be mounted adjacent the fire rated wall on the southern boundary. This will, in my view, provide sufficient noise attenuation to mitigate any potential impacts of the representor. It is also acknowledged that the representor also has a boundary wall in this location and this would provide further noise protection.

Finally, the car stacker must comply with the requirements of the Environment Protection (Noise) Policy 2007 (Noise Policy) as it is a fixed domestic plant. The installer of the system has an obligation to ensure that any fixed domestic plant is installed to comply with the Noise Policy. Should it be determined by the installer that the noise protection package is required, it will be installed in order to comply with the Noise Policy.

For these reasons, I contend that the proposed development will not unreasonably impact the representor by way of noise.

As outlined above the balcony will now feature a solid timber batten/panelled wall at its rear to provide a physical noise barrier between the balconies and the adjoining areas of open space. In my view, this is suitable to comply with Council Wide Principle 38.

Mr and Ms Harvey

Mr and Ms Harvey are concerned with the:

- potential for overlooking
- noise from the balcony
- fire risk
- reduction in access to their gutter and roof, and
- the potential for vermin to move between the balcony and roof

Overlooking

As addressed above, the balcony screening initially complied with the requirements of the Development Plan with respect to its height (1.6 metres) and openings (25%). The applicant now proposes to further reduce the openings to a maximum of 10%.

Noise

As addressed above, the applicant proposes to incorporate additional solid timber batten/ screening within the balcony (on the inside of the timber panelling) to provide a physical noise barrier between the balconies and the adjoining areas of open space to minimise the potential noise impacts.

DA/429/2017

10/12/2018

Fire risk

The applicant sought the advice of a private certifier with respect to the increased fire risk. The amended proposal plans incorporate walls on the northern and southern side of the balcony (including the underside) to comply with the fire rating levels of the National Construction Code. While this is subject to a further assessment as part of the Building Rules Assessment, I understand that this is sufficient to suitably minimise the potential fire risk.

Access to gutter and roof

The proposed development will only restrict the maintenance of the representors' roof and gutter if it was accessed from the subject land. While that access may be provided by the current owner, there can be no guarantee that this would continue in the future if the land was in different ownership.

Boundary walls are common within metropolitan areas and an adjoining landowner is under no obligation to provide access from neighbouring land.

Having visited the subject land, I am of the view that the representor would be able to continue to access their roof from within their site.

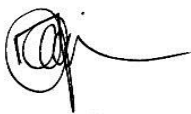
Vermin

As the proposed development now involves a solid block wall on the boundary, I contend that the risk of vermin moving between the dwelling's balcony and the neighbouring site's to be suitably low.

Conclusion

I trust that the above additional documentation and information herein suitably addresses the concerns of the representors. I would be pleased to present in support of this application should it be necessary at the Council Assessment Panel. Please call me if you have any questions on 8333 7999.

Yours sincerely



Matthew King RPIA
Director

Enc

CITY OF ADELAIDE COUNCIL ASSESSMENT PANEL ON 4/3/2019

Item No	3.2
Address	Land, 223 Childers Street, North Adelaide SA 5006
Proposal	Construct two (2) storey detached dwelling (DA/1040/2018 - SG) [CAP]
Applicant	Mr R. Bruin
Relevant Development Plan	7 June 2018
Lodgement Date	11 Dec 2018
Zone / Policy Area	North Adelaide Historic (Conservation) Zone - Hill Street Policy Area 1
Public Notification	Category 2
Application Type	Application Assessed on Merit
Delegations Policy	New dwelling in North Adelaide
Recommendation	Development Plan Consent Be GRANTED

ATTACHMENTS

Plans and Supporting Information

- Proposal Plans 1-9
 - Certificate of Title 10-12
-

PERSONS SPEAKING BEFORE THE PANEL

Nil

1. **DESCRIPTION OF PROPOSAL**

- 1.1 Planning consent is sought for the construction of a two (2) storey detached dwelling with garage at 223 Childers Street, North Adelaide.
- 1.2 The proposed building will have varying heights. The highest portion of the building, to the ridge of the roof, is proposed at 8.5 metres above ground with a ceiling height of 6.5 metres.
- 1.3 A building floor area of 171m² is proposed.
- 1.4 A range of building materials and finishes will be used including recycled red brick, low light reflective rendered surfaces and cement composite cladding painted in grey tones.
- 1.5 A double garage is proposed to front Childers Street. The garage will be recessed behind the main façade.

2. **DEVELOPMENT DATA**

DESIGN CHARACTERISTICS	GUIDELINE	PROPOSED
Site area: 286m²		
Plot ratio	0.6 (172m ²)	0.59 (171m ²)
Building height		
- Storeys	2 storeys	2 storeys
- Metres (ceiling height)	6 metres (max)	6.5 metres
Private Open Space (POS)		
- % of total site area or m ²	20% (57m ²)	30%(88m ²)
- Dimensions	2.5 metres (min)	2.5 metres
Landscaped Open Space (LOS)		
- % of total site area	50% (143m ²)	29% (83m ²)
Car parking and Access		
- Number of spaces	1 Space	2 Spaces
- Width of garage/carport in relation to the allotment width	Not > 50% allotment width (6.5 metres)	41% (5.4 metres)

3. **BACKGROUND**

- 3.1 The applicant sought preliminary advice from Council Administration regarding this development prior to lodgement. A number of the issues raised during the preliminary discussions were addressed at lodgement.
- 3.2 The subject site is vacant. It originally formed part of a larger site, having an area of 5,175m², that accommodated the Red Cross. This site was divided into eighteen (18) allotments (LD/33/1999) and developed with two storey detached dwellings on each allotment (DA/624/2004) between approximately 2007 and 2014.
- 3.3 The subject site is the last allotment to be developed and has remained vacant.

4. **SITE**

- 4.1 The site is located on the southern side of Childers Street, approximately 50 metres east of the intersection between Childers Street, Hill Street and Mills Terrace.

- 4.2 The site has a frontage to Childers Street of approximately 13 meters and side boundary lengths of approximately 22 metres. The land has an area of approximately 286m² and is not subject to any easements.
- 4.3 The site is currently vacant and devoid of vegetation.
- 4.4 The land rises approximately 1.2 metres from Childers Street to the southern boundary.
- 4.5 Vehicle access is provided via an existing crossover to Childers Street which is located towards the eastern side of the property.

5. LOCALITY

- 5.1 The locality incorporates residential land uses with a mix of single and two storey buildings. Most of the buildings in the locality are contemporary, however there are a number of Local Heritage Places that front Hill Street.
- 5.2 Childers Street is a wide tree lined street.
- 5.3 The Park Lands (North Adelaide Golf Course) are located adjacent the north eastern corner of the intersection between Childers Street, Hill Street and Mills Terrace.
- 5.4 In summary, the locality has a mixed residential and Park Lands character.



KEY



Subject Site



Local Heritage Place

NAH(C)1

North Adelaide Historic
(Conservation) Zone/Hill
Street Policy Area 1



State Heritage Place

PL16

Park Lands Zone/Golf
Links Policy Area 16



Policy Area Boundary



Locality

Photo 1 – Subject site, viewed from the northern side of Childers Street, looking south



Photo 2 – Neighbouring dwelling to the east (219 Childers Street)



Photo 3 – Neighbouring dwelling to the west (227 Childers Street)



Photo 4 – Two storey dwellings located on the northern side of Childers Street, directly opposite the subject site



6. PUBLIC NOTIFICATION

- 6.1 The application was subject to Category 2 public notification. One representation was received during the notification period. However, this representation was subsequently withdrawn as an agreement was reached with the applicant that addressed the concerns raised.

Please note: Category 2 representations are only 'valid' and taken into account if the representor has been directly notified in writing, by Council, of the development. Only valid Category 2 representations are afforded the opportunity to be heard by the Council Assessment Panel. This is in accordance with legislation and a resolution of Council on 27 June 2017.

7. REQUIRED EXTERNAL REFERRALS

- 7.1 No external referrals required.

8. SPECIALIST ADVICE**8.1 Traffic**

- There is no objection from a traffic perspective, noting the applicant is not proposing to alter the existing crossover.

RELEVANT CITY OF ADELAIDE 2016-2020 STRATEGIC PLAN ACTIONS

Whilst an assessment against the Strategic Plan is not required, the Development Plan is informed by Council's Strategic Plan Objectives and Actions as below:

SMART	GREEN
<ul style="list-style-type: none"> Develop and promote an international City brand that showcases the smart, liveable, green and cultural advantages of Adelaide 	<ul style="list-style-type: none"> Improve energy performance and use of renewable energy in Council and privately-owned buildings, including consideration of solar heating, solar energy generation and battery storage Work with private property owners and the State Government to embed better environmental performance into new and existing developments Identify opportunities for building adaptation and re-use that supports heritage aspirations while reducing carbon emissions and waste Work with all City stakeholders to increase public and private greening with street trees, gardens, community gardens, green walls and roofs, providing incentives where appropriate
LIVEABLE	CREATIVE
<ul style="list-style-type: none"> Encourage growth in the full range of residential property development in a mixed-use environment in a manner that respects the human scale and different character of districts in the City Promote and protect Adelaide's built character and heritage through our operations, incentives, policies and direct investment, while working with and advocating to Federal and State governments for an increase in City buildings protected under State or Local Heritage regulations 	<ul style="list-style-type: none"> Increase public art and cultural expression in private development by using planning levers and requirements

9. DETAILED ASSESSMENT

9.1 Summary of Hill Street Policy Area 1 Objectives & Principles











Subject DP Ref	Assessment	Achieved ✓ Not Achieved ✗
Desired Character	<ul style="list-style-type: none"> • Low density residential development. • An increase in the amount of residential accommodation is proposed through the development of a vacant land parcel. 	✓
Objectives O1&2	<ul style="list-style-type: none"> • Low density development. 	✓
Form P1&2	<ul style="list-style-type: none"> • Detached dwelling proposed. 	✓
Building Height P3	<ul style="list-style-type: none"> • Two storey dwelling with a maximum ceiling height of 6.5 metres is proposed in an area where building height varies from single to two stories. 	✗/✓
Plot Ratio P4	<ul style="list-style-type: none"> • Proposed building floor area of 171m² and a site area of 286m² results in a plot ratio of 0.59. This satisfies the basic and maximum plot ratio requirement of 0.6. 	✓
Landscaped Open Space P7	<ul style="list-style-type: none"> • An area of 83m² (29%) of landscaped open space is proposed which is less than the 50% requirement. However, the land division which created the subject site resulted in small allotments which makes it difficult to achieve the 50% requirement. 	✗

9.2 Summary of North Adelaide Historic (Conservation) Zone Objectives & Principles

Subject DP Ref	Assessment	Achieved ✓ Not Achieved ✗
Desired Character	<ul style="list-style-type: none"> In accordance with the range of single and two storey development in the area. 	✓
Objectives O1-3	<ul style="list-style-type: none"> Results in an increase in dwelling numbers in the Zone through the redevelopment of a vacant site. 	✓
Form and Character P1-4	<ul style="list-style-type: none"> Similar scale and setbacks to neighbouring buildings. Utilises brick and render finished surfaces as the main external finish. 	✓
Building Height P7	<ul style="list-style-type: none"> Achieved. 	✓
Setbacks P9	<ul style="list-style-type: none"> Consistent setbacks from front, side and rear allotment boundaries do not prevail in the locality. 	✓
Fencing P14	<ul style="list-style-type: none"> Fencing to street frontage will be of masonry construction and have a height of between 1.6 to 1.8 metres. The fence will be screened with landscaping to reduce its visual impact. 	✓
Access and Car parking P17, 19-22	<ul style="list-style-type: none"> Vehicle access is proposed via existing crossover to Childers Street. Undercroft car parking is not proposed. Garage proposed behind main face of the building to Childers Street. 	✓

9.3 Summary of Council Wide Objectives & Principles

Subject	Assessment	Achieved
DP Ref		✓ Not Achieved ✗
Housing choice O6 P5&9	<ul style="list-style-type: none"> Will add to the variety of housing types. 	✓
LOW SCALE RESIDENTIAL DEVELOPMENT		
Building Appearance & Neighbourhood Character O11-12 P17-21	<ul style="list-style-type: none"> Sufficient open space is proposed for landscaping. Visual bulk of the proposal has been minimised through articulation of the facades, variation in building materials and the use red brick and grey tones. 	✓
Dwelling Setbacks O13 P22	<ul style="list-style-type: none"> There is a lack of prevailing setbacks in Childers Street. 	✓
Building Siting O14 P23-24	<ul style="list-style-type: none"> Walls are proposed on portions of the eastern and western boundaries. These walls are proposed in line with the walls of neighbouring dwellings. 	✓
Daylight & Sunlight O15 P25-28	<ul style="list-style-type: none"> Additional overshadowing will occur to neighbouring dwellings to the west and east, however this will be in accordance with PDC 27. 	✓
Private Open Space O16 P29-34	<ul style="list-style-type: none"> Achieved. 	✓
Visual & Acoustic Privacy O17 P35-38	<ul style="list-style-type: none"> Refer to Section 9.4. 	✓
Adaptability P39	<ul style="list-style-type: none"> Achieved. 	✓
Carports, Garaging & Fencing O18-19 P40-43	<ul style="list-style-type: none"> The garage has been designed with a greater setback from Childers Street than the remainder of the dwelling façade. Width of garage 5.4 metres, which is 41% of the 13 metre frontage to Childers Street. 	✓

On-Site Parking & Access O20 P44-45	<ul style="list-style-type: none"> Two (2) undercover car parks are proposed, which exceeds the minimum one (1) space requirement outlined in Table Adel/7. 	
ENVIRONMENTAL		
Waste management O28 P101&102	<ul style="list-style-type: none"> An area is dedicated for the storage of waste bins on the eastern portion of the site. 	
Energy Efficiency O30 P106-112 Residential Development P113-114	<ul style="list-style-type: none"> Living areas will incorporate primarily north facing windows. Natural cross ventilation will be possible by opening north and south facing windows to capture breezes. A covered balcony at upper level will assist in shading the north facing windows during the warmer months. 	
Stormwater management O35-39 P126-131	<ul style="list-style-type: none"> Rainwater tanks proposed on eastern boundary. 	
Height, Bulk and Scale P168-174	<ul style="list-style-type: none"> Proposed two storey height is consistent with the height of other development in the locality. The height also satisfies Hill Street Policy Area 1 PDC 3. 	
Plot Ratio P175	<ul style="list-style-type: none"> Achieved. 	
Landscape Open Space P177	<ul style="list-style-type: none"> Refer to Section 9.1 – PDC 7 comments. 	
Articulation & Modelling P182-186	<ul style="list-style-type: none"> The proposal includes recessed windows, a recessed garage and varying materials and finishes. 	
Materials, Colours & Finishes P187-190	<ul style="list-style-type: none"> Use of brick and rendered surfaces makes reference to traditional materials evident in the locality. Low light reflective rendered surfaces painted in grey tones and the use of recycled red brick will articulate the facade and result in a contemporary built form that does not appear out of context with existing built form. 	
Vacant Sites & Buildings O54 P204	<ul style="list-style-type: none"> Achieved. 	

Landscaping O55 P207-210	<ul style="list-style-type: none"> Landscaping is proposed along portions of the Childers Street frontage and also in the rear courtyard. The proposed landscaping will soften the appearance of the development and will also improve the visual appearance of the site. 	✓
Traffic and vehicle access P240	<ul style="list-style-type: none"> Achieved. Refer to Section 8.1 – Traffic Comments. 	✓
Car parking O71-72 P251-265	<ul style="list-style-type: none"> Achieved. 	✓

9.4 Detailed Discussion

Built Form and Design

The design of the proposal is clearly contemporary. The level of visual interest is acceptable due to the varied nature of the proposed façade which incorporates extensive glazing that will be recessed to reduce its visual appearance.

Furthermore, the balance between vertical and horizontal elements, varied upper storey setbacks, use of vertically proportioned openings, depths of reveals and selection of colour and texture of materials used will also add to visual interest. This design approach is expected to create a development which sits comfortably within the variable context of the locality and is in accordance with Zone PDCs 1 and 3.



Figure 1 – Perspective of proposed development, viewed from Childers Street

Although a contemporary design, the proposal is consistent with the local pattern of development, particularly in terms of its setback from Childers Street which is located between the setbacks of the neighbouring dwellings.

Height

The proposed two storey height of the proposed dwelling is consistent with the height of other development in the locality which is predominantly two storey.

The proposed two storey height satisfies Hill Street Policy Area 1 PDC 3 in terms of the number of building levels. However, it is proposed to have ceiling height of 6.5 metres which is contrary to the 6 metre maximum requirement.

Whilst the ceiling height exceeds the requirement outlined PDC 3, it is acceptable as it is only 500mm greater than required, is in keeping with the heights of neighbouring and will not result in unacceptable overshadowing impacts.

Boundary Construction

The application proposes construction of walls on both the eastern and western boundaries. The proposed walls will generally be in alignment with neighbouring dwellings to the east and west. This is acceptable, particularly considering neighbouring walls are already constructed on these boundaries.

The neighbouring dwelling to the west at 227 Childers Street has an openable window, which appears to be for a bathroom, located on the western boundary of the subject site as shown in Figure 2. The proposed development includes the construction of a wall directly abutting this window. Consequently, the window will be 'enclosed' by the development.

This is an acceptable outcome as development cannot be restricted when a window has been constructed on a boundary. The construction of a window on a boundary is not permitted under the Building Code of Australia.



Figure 2 – Existing upper level window on eastern façade of neighbouring dwelling to the west (227 Childers Street)

A wall is also proposed abutting the neighbouring dwelling to the east. However, this is only proposed at ground level and the upper level will have a setback of at least 2 metres from this boundary. The eastern neighbour (219 Childers Street) was concerned the ground level boundary wall is proposed to extend 1.6 metres forward of the northern façade of their dwelling. Their concerns have now been resolved by the applicant agreeing to treat the eastern side of the wall. The visual impact of the wall extending 1.6 metres forward of the neighbouring eastern dwelling will also be mitigated by existing landscaping in this area which is shown in Figure 3.



Figure 3 – Existing wall and landscaping located adjacent boundary of eastern dwelling (223 Childers Street)

Visual Privacy

The proposal includes a number of upper level windows. South facing upper level windows will have sill heights of at least 1.8 metres above floor level. This will prevent overlooking into neighbouring properties and exceeds the 1.6 metre minimum sill height stipulated in Council Wide PDC 36 (Design Technique 36.1(b)).

9.5 Conclusion

This application proposes the construction of a two (2) storey detached dwelling with garage on the subject site.

The majority of the relevant Development Plan provisions are satisfied by the proposal and it is considered acceptable as it:

- Is for residential use which is desired in the North Adelaide Historic (Conservation) Zone and Hill Street Policy Area 1;
- Will be in keeping with the mix of single and two storey development in the locality;
- Has a plot ratio of 0.59 in accordance with the maximum plot ratio of 0.6 stipulated in Hill Street Policy Area 1 PDC 4;
- Provides 30% private open space area which is substantially more than the minimum 20% required in Council Wide PDC 31;
- Will result in minimal overshadowing impacts and will satisfy Council Wide PDC 27; and
- Prevents overlooking from the upper levels in accordance with Council Wide PDC 36.

The proposal is not considered to be seriously at variance with the provisions of the Development Plan because it proposes a land use and form of development that are desired in the Zone and Policy Area.

It has been determined that, on balance, the proposal warrants Development Plan Consent.

10. **RECOMMENDATION**

That the development, the subject of the application from Mr R. Bruin to construct a two (2) storey detached dwelling at Land, 223 Childers Street, North Adelaide SA 5006 as shown on plans designated DA/1040/2018:

1. Is not seriously at variance with the provisions of the Development Plan and
2. Be GRANTED Development Plan Consent, subject to the following conditions and advices:

Conditions

1. **The Development shall be undertaken in accordance with the plans, drawings, specifications and other documents submitted to the Council that are relevant to the consent as listed below:**

Plans prepared by Proske Architects as follows:

- **Site Plan, DWG No. PL01.C, dated 5 December 2018**
- **Floor Plans, DWG No. PL03.C, dated 5 December 2018**
- **Elevations, DWG No. PL04.C, dated 5 December 2018**
- **Perspectives of proposal (x3)**

to the reasonable satisfaction of the Council except where varied by conditions below (if any).

Reason: *To ensure that the Development is undertaken in accordance with the plans and details submitted.*

2. **External materials, surface finishes and colours of the Development shall be consistent with the descriptions hereby granted consent and shall be to the reasonable satisfaction of the Council.**

Reason: *To ensure a high standard of materials and finishes used in the finished presentation of the Development.*

3. **The applicant or the person having the benefit of this consent shall ensure that all storm water run off from the development herein approved is collected and then discharged to the storm water discharge system. All down pipes affixed to the Development which are required to discharge the storm water run off shall be installed within the property boundaries of the Land to the reasonable satisfaction of the Council.**

Reason: *To ensure that stormwater runoff does not have an adverse impact upon the public realm.*

4. **The noise level of any air conditioning units located on the Land when assessed at the nearest existing or envisaged future noise sensitive location in or adjacent to the Land shall not exceed 50dB(A) during daytime (7am to 10pm) and 40dB(A) during night time (10pm to 7am) when measured and adjusted in accordance with the relevant environmental noise legislation in operation and that is applicable to the Land except where it can be demonstrated that a high background noise exists in which case such noise levels shall be to the reasonable satisfaction of the Council at all times.**

Reason: *To ensure that the acoustic amenity of the locality is not unduly affected by air-conditioning noise.*

5. **The landscaping depicted on the plans, particularly the photinia robusta hedge located between the front fence and Childers Street, shall be maintained in good health and condition at all times to the reasonable satisfaction of the Council. Any dead or diseased plants or trees shall be replaced forthwith to the reasonable satisfaction of the Council.**

Reason: To provide amenity for the occupants of buildings and those of adjacent buildings through the provision of landscaping as part of the Development.

Advices

1. Development Approval will not be granted until Building Rules Consent has been obtained. A separate application must be submitted for such consent. No building work or change of classification is permitted until the Development Approval has been obtained.
2. Pursuant to the provisions of Regulation 48 under the Development Act 1993, this consent / approval will lapse at the expiration of 12 months from the operative date of the consent / approval unless the relevant development has been lawfully commenced by substantial work on the site of the development within 12 months, in which case the approval will lapse within 3 years from the operative date of the approval subject to the proviso that if the development has been substantially or fully completed within those 3 years, the approval will not lapse.
3. It is recommended that as the applicant is undertaking work on or near the boundary, the applicant should ensure that the boundaries are clearly defined, by a Licensed Surveyor, prior to the commencement of any building work.
4. No on-street residential parking permits will be issued for use by occupants of, or visitors to, the development herein approved (unless the subject site meets the relevant criteria).
Please contact Customer Centre on 8203 7203 for further information.
5. Section 779 of the Local Government Act provides that where damage to Council footpath / kerbing / road pavement / verge occurs as a result of the development, the owner / applicant shall be responsible for the cost of Council repairing the damage.
6. Any activity in the public realm, whether it be on the road or footpath, requires a City Works Permit. 48 hours' notice is required before commencement of any activity.

The City Works Guidelines detailing the requirements for various activities, a complete list of fees and charges and an application form can all be found on Council's website at www.cityofadelaide.com.au

When applying for a City Works Permit you will be required to supply the following information with the completed application form:

- A Traffic Management Plan (a map which details the location of the works, street, property line, hoarding/mesh, lighting, pedestrian signs, spotters, distances etc.);
- Description of equipment to be used;
- A copy of your Public Liability Insurance Certificate (minimum cover of \$20 Million required);
- Copies of consultation with any affected stakeholders including businesses or residents.

Please note: Upfront payment is required for all city works applications.

Applications can be lodged via the following:

Email: cityworks@cityofadelaide.com.au
 Fax: 8203 7674
 In Person: 25 Pirie Street, Adelaide

**Item No. 3.2 – Attachments 1 – 12 (Land, 223 Childers Street, North Adelaide SA
5006) Pages 114 to 125**

ATTACHMENTS

Plans and Supporting Information

- Proposal Plans 1-9
- Certificate of Title 10-12

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CHILDERS STREET RESIDENCE

223 CHILDERS STREET NORTH ADELAIDE SA 5006

DRAWING SCHEDULE - FOR APPROVAL

SHEET NO.	DRAWING NAME	CURRENT REV.
PL01	SITE PLAN	C
PL02	PROPOSED DEMOLITION PLAN	C
PL03	PROPOSED FLOOR PLANS	C
PL04	PROPOSED ELEVATIONS	C
PL05	SOLAR ANALYSIS PLANS	B

AREA SCHEDULE - FOR APPROVAL

AREAS ARE TAKEN FROM INTERNAL FACE OF EXTERNAL WALL LINE, UNLESS OTHERWISE SPECIFIED.

TOTAL ALLOTMENT AREA = 286m²

MAXIMUM PLOT AREA RATIO 0.6% = 171.6m²

PLOT AREAS ARE CALCULATED TO THE INSIDE FACE OF THE EXTERNAL WALL LINE, EXCLUDES FIRST FLOOR STAIR VOID, LIFT & GARAGE.

DESCRIPTION	AREA
GROUND FLOOR LIVING	109,360 m ²
FIRST FLOOR AREA	62,111 m ²
	171,471 m ²

LANDSCAPED OPEN SPACE

COURTYARD	58 m ²
DRIVEWAY	35 m ²
TERRACE	32 m ²
LOS TOTAL	125 m ²

SITE PLAN
SCALE 1:100

APPROVAL

A	FOR APPROVAL	14.11.2018
B	FOR APPROVAL	29.11.2018
C	FOR APPROVAL	05.12.2018

DRAWING DETAILS
DRAWN: AMZ/MCWC
SCALE: 1:100 @ A1

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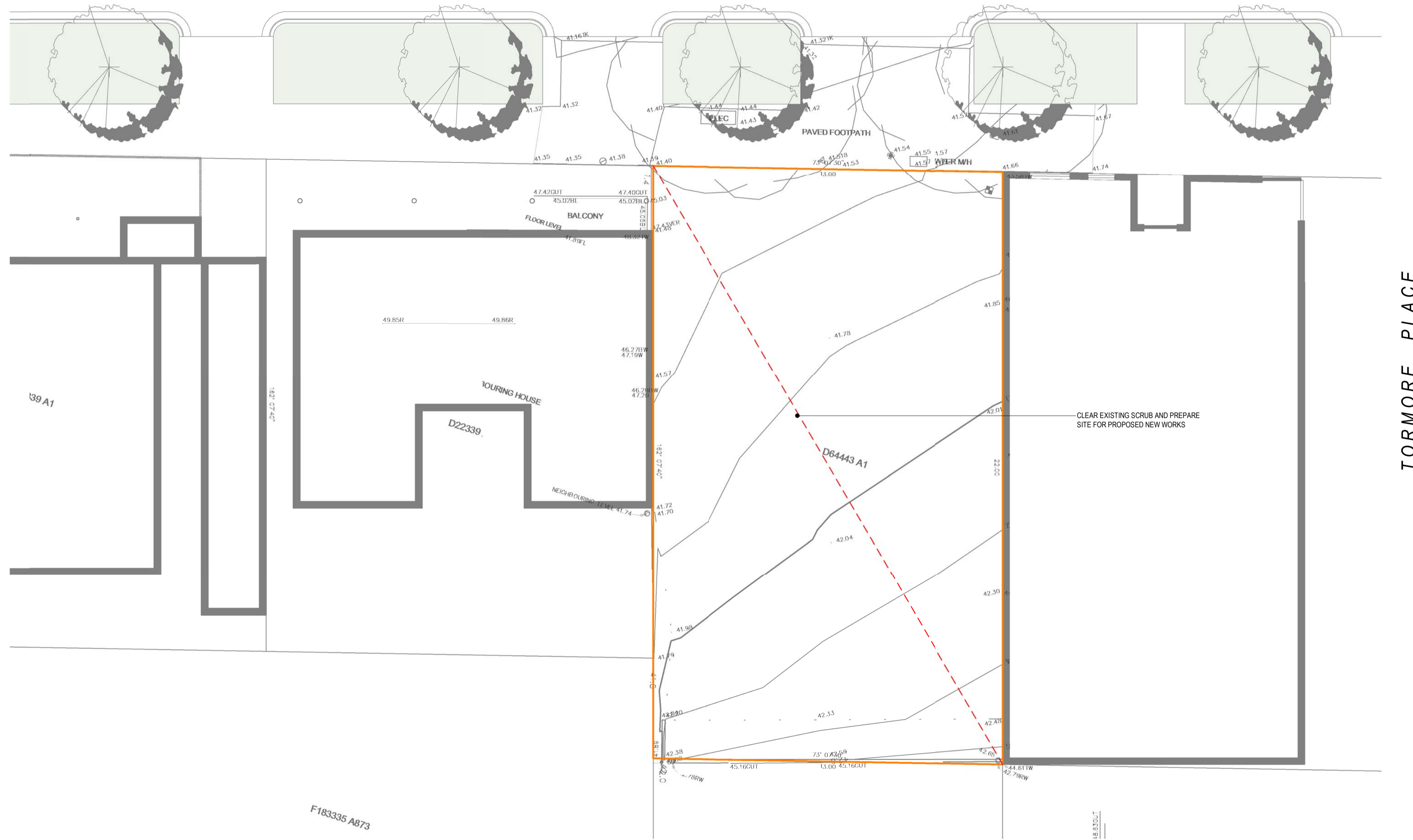
18.035. PL01.C
PROJECT
CHILDERS STREET RESIDENCE
223 CHILDERS STREET NORTH ADELAIDE

CLIENT
R Bruin & D Parsons

DRAWING TITLE
SITE PLAN

DATE: 05.12.2018

CHILDERS STREET



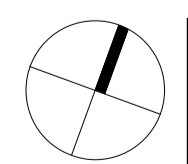
DEMOLITION PLAN
SCALE: 1:100

APPROVAL

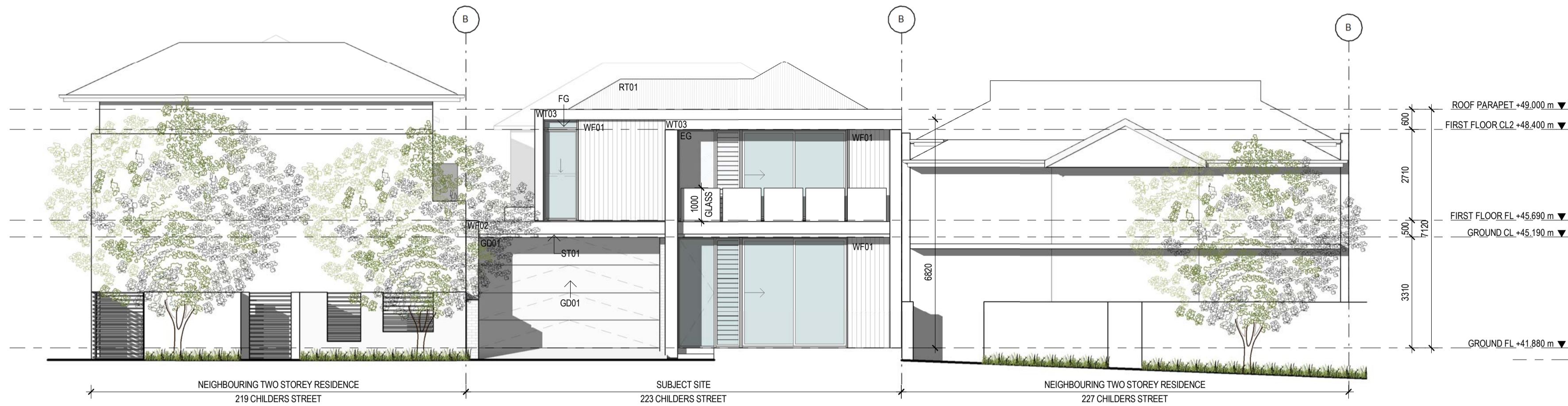
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B	FOR APPROVAL	29.11.2018
C	FOR APPROVAL	05.12.2018

DRAWING DETAILS
DRAWN: AMZ/MC
SCALE: 1:100 @ A1

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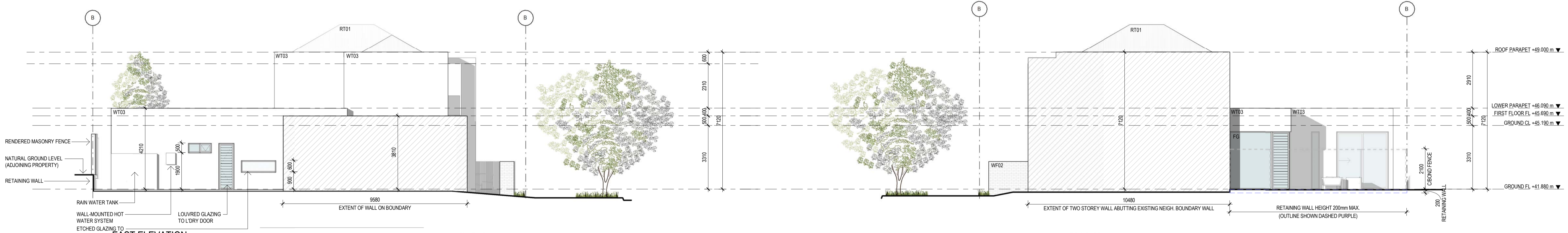
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PROJECT
CHILDERS STREET RESIDENCE
223 CHILDERS STREET NORTH ADELAIDE
CLIENT
R Bruin & D Parsons
DRAWING TITLE
PROPOSED DEMOLITION PLAN
DATE: 05.12.2018



NORTH ELEVATION
SCALE 1:100

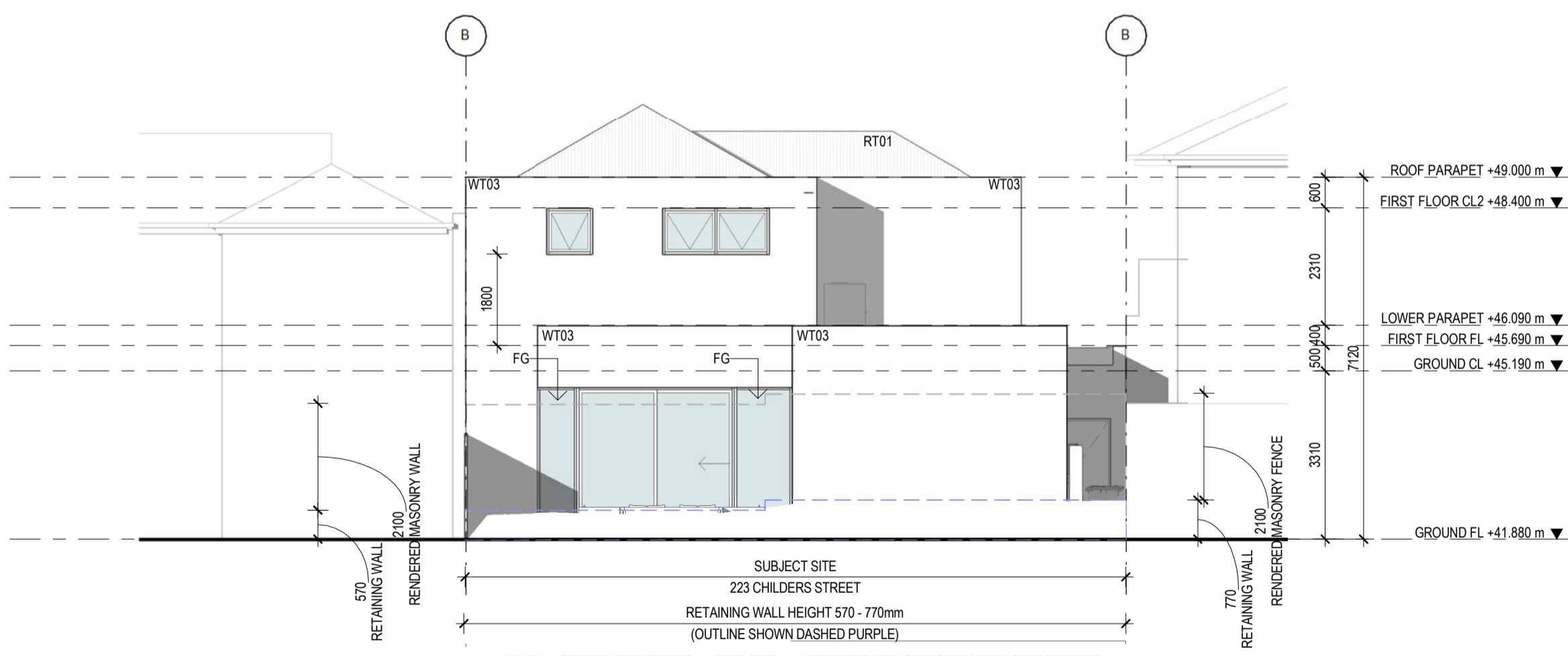


NORTH FENCE ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100

WEST ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100

EXTERNAL FINISHES

- EG GLAZING: TYPICAL CLEAR. REFER ENERGY EFFICIENCY REPORT
- FG FIXED GLAZING: TYPICAL CLEAR. REFER ENERGY EFFICIENCY REPORT
- GD01 AUTOMATIC SECTIONAL GARAGE DOOR. COLOUR COLORBOND 'MONUMENT'
- GL01 GLAZING: TYPICAL CLEAR LAMINATED GLASS
- RT01 ROOF TYPE 01 REVOLUTION ROOFING 'SHALLOW CORRUGATED' ROOF SHEETING, 30 DEGREE PITCH. COLORBOND FINISH 'MONUMENT'
- ST01 EXPRESSED STEEL LINTEL. PAINTED BLACK
- WF01 WALL FINISH TYPE 01 JAMES HARDIE SYCON AXON PANEL, 132mm SMOOTH PROFILE. PAINT FINISH DARK GREY TONAL RANGE
- WF02 WALL FINISH TYPE 02 FINISH: FACE BRICKWORK. COLOUR: RECYCLED RED BRICK WITH BRIGHTON LITE MORTAR
- WF03 WALL TYPE FINISH 03 ACRYLIC ROUGH RENDER. PAINTED. COLOUR: LIGHT GREY TONAL RANGE

APPROVAL

A	FOR APPROVAL	14.11.2018
B	FOR APPROVAL	29.11.2018
C	FOR APPROVAL	05.12.2018

DRAWING DETAILS
DRAWN: Author
SCALE: 1:100 @ A1

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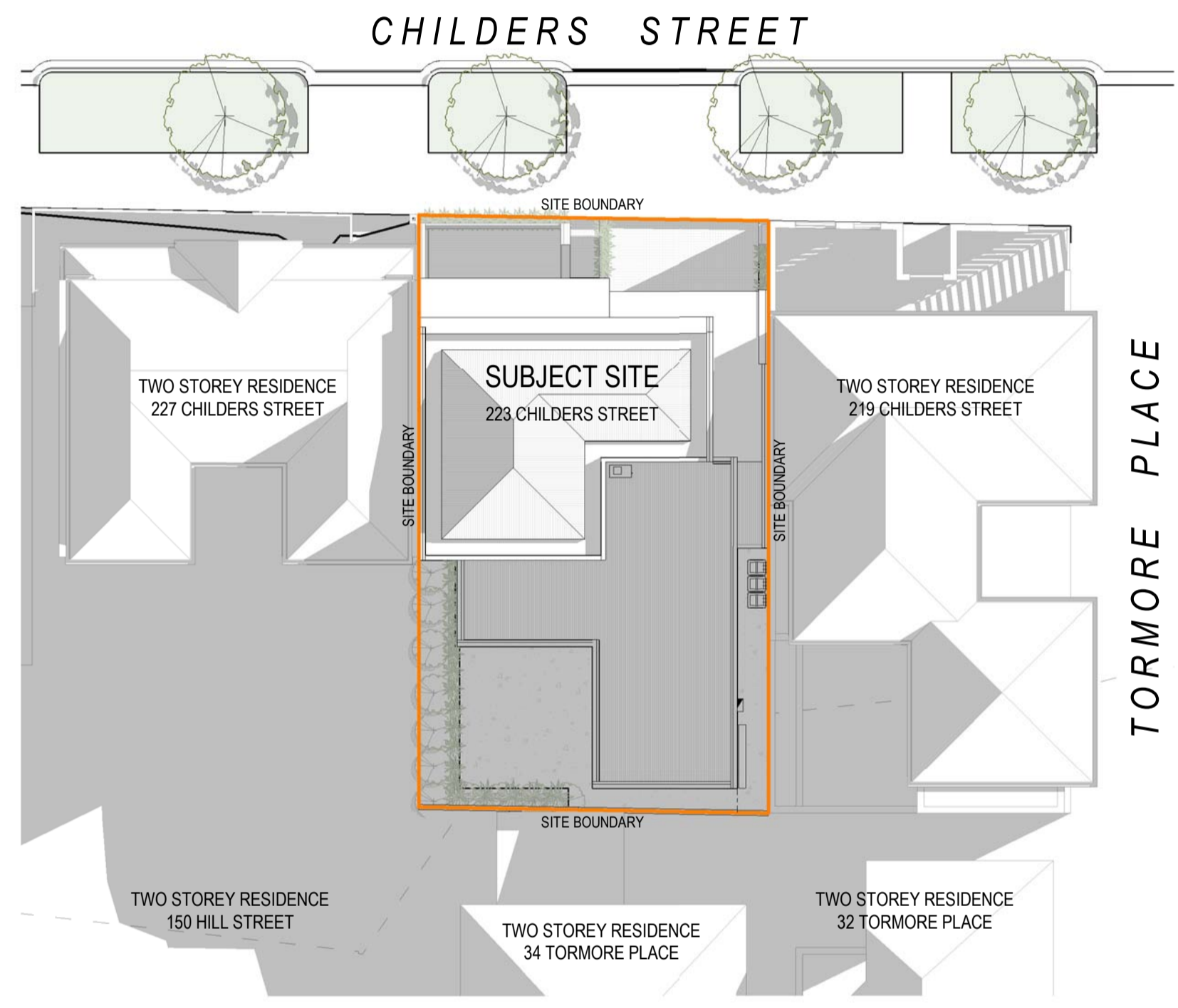
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PROJECT
CHILDERS STREET RESIDENCE
223 CHILDERS STREET NORTH ADELAIDE

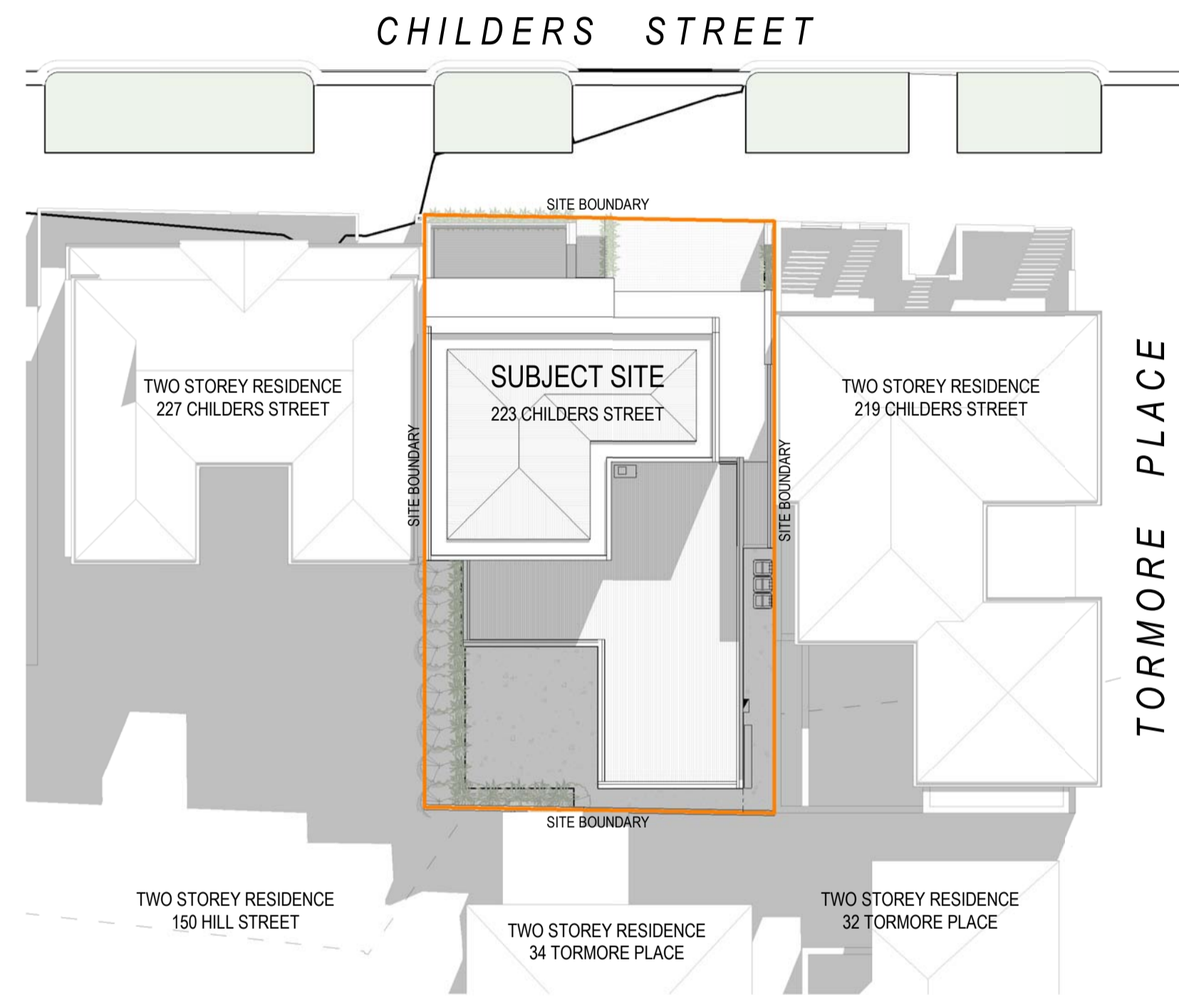
CLIENT
R Bruin & D Parsons

DRAWING TITLE
PROPOSED ELEVATIONS

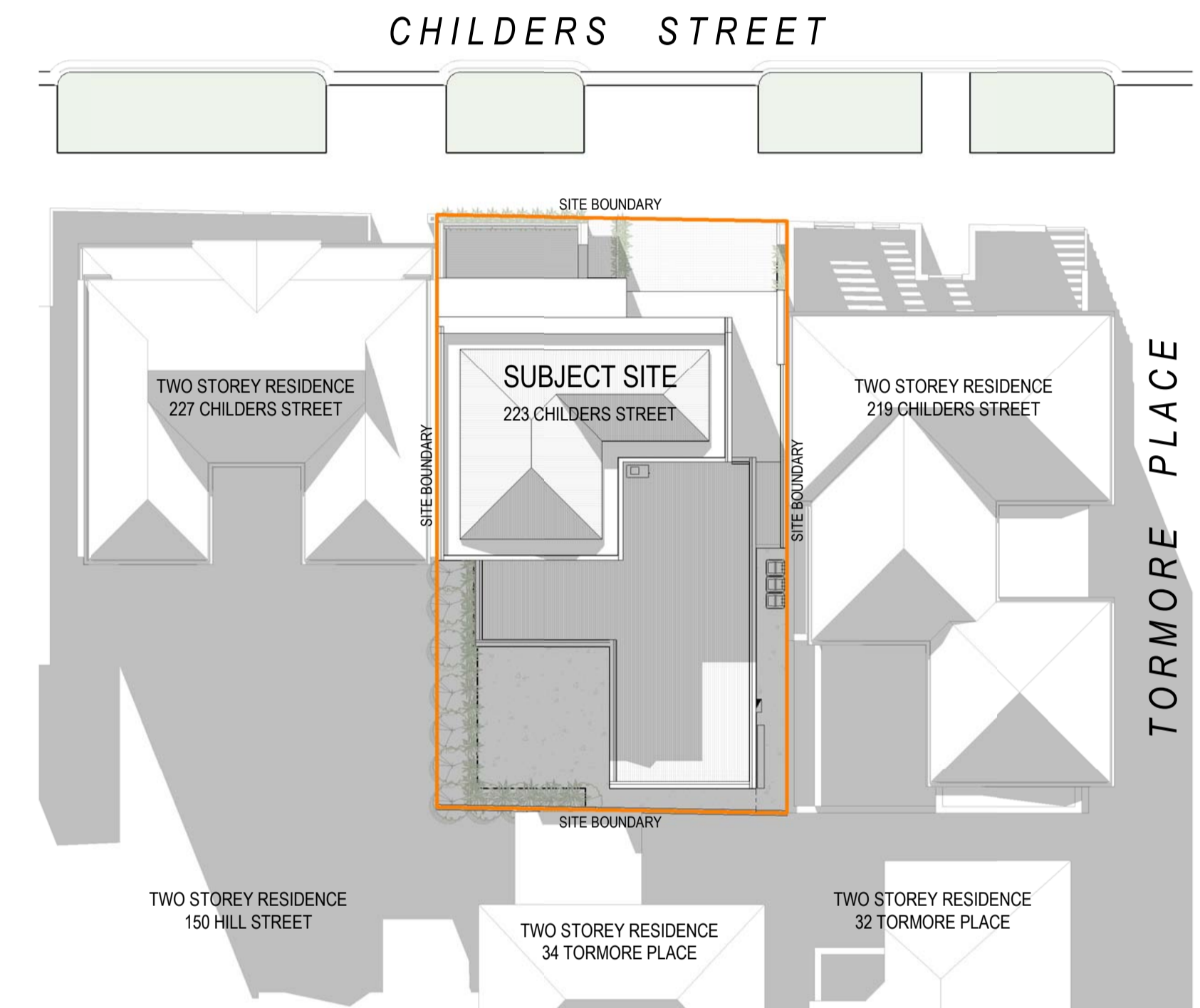
DATE: 05.12.2018



SOLAR ANALYSIS PLAN - WINTER SOLSTICE - 0900 HOURS
SCALE 1:200



SOLAR ANALYSIS PLAN - WINTER SOLSTICE - 1200 HOURS
SCALE 1:200



SOLAR ANALYSIS PLAN - WINTER SOLSTICE - 1500 HOURS
SCALE 1:200

SOLAR ANALYSIS PLAN NOTES

- SHADOWS CAST BY EXISTING NEIGHBOURING RESIDENCES AND OUTBUILDINGS ARE SHOWN
- SHADOWS CAST BY EXISTING AND PROPOSED FENCES ARE SHOWN
- SHADOWS CAST BY EXISTING TREES AND VEGETATION ARE NOT SHOWN

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architecture + interiors

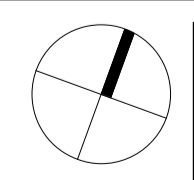
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Adelaide South Australia 5000
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APPROVAL

A	FOR APPROVAL	29.11.2018
B	FOR APPROVAL	05.12.2018

DRAWING DETAILS
DRAWN: MD
SCALE: 1:200 @ A1

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18.035. PL05.B

PROJECT
CHILDERS STREET RESIDENCE
223 CHILDERS STREET NORTH ADELAIDE

CLIENT
R Bruin & D Parsons

DRAWING TITLE
SOLAR ANALYSIS PLANS

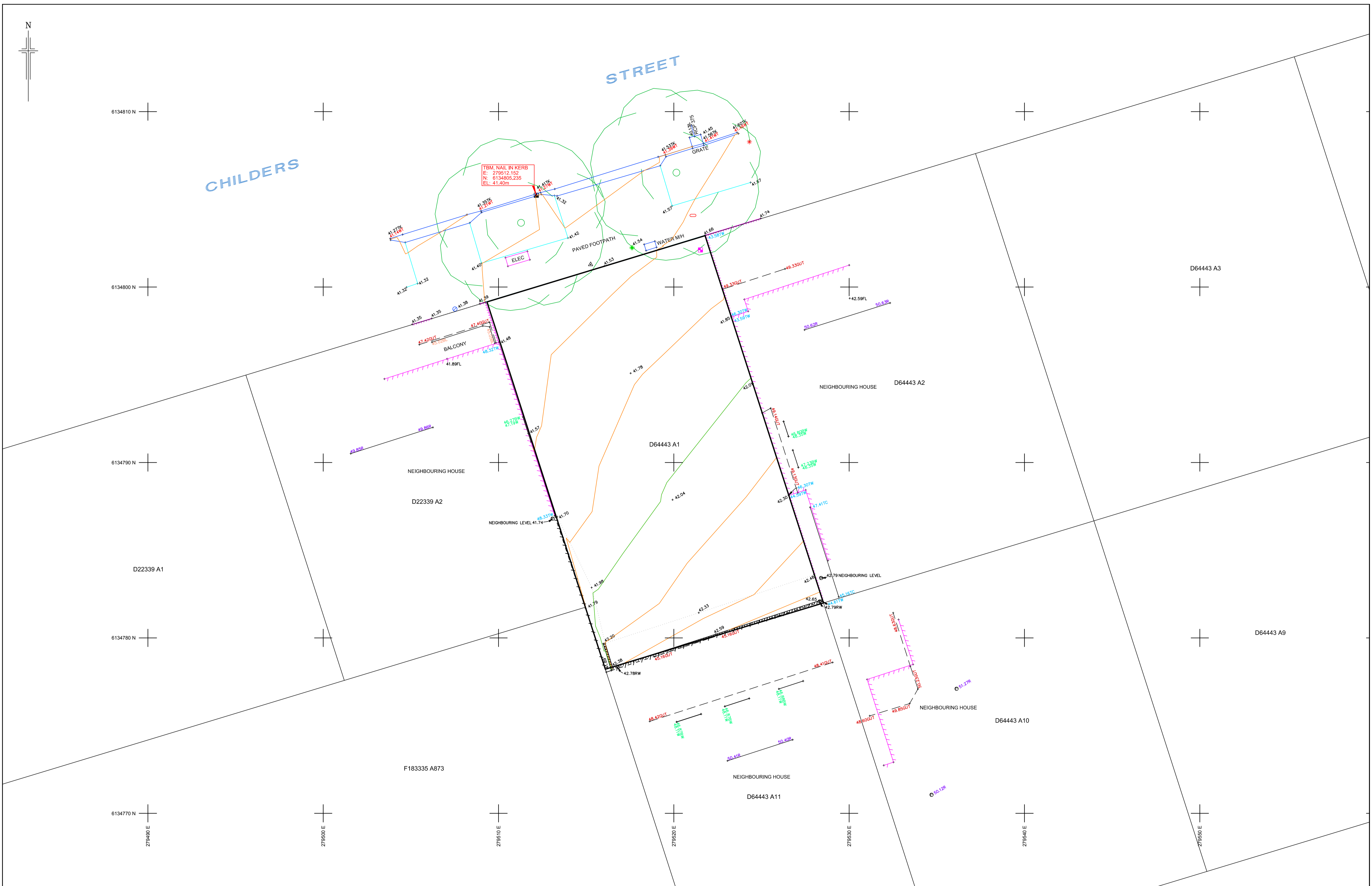
DATE: 05.12.2018











REV	DATE	DESCRIPTION	CALC	FIELD
ADDITIONS, AMENDMENTS AND APPROVALS				

LEGEND	
47.51TK TOP KERB	47.87TW TOP OF WALL
47.36WT WATER TABLE	47.87WV TOP OF WINDOW
45.16FL FLOOR LEVEL	47.87WB BOTTOM OF WINDOW
48.12IL INVERT LEVEL	TEL COMM. PILLAR / PIT
WATER METER	TRAFFIC LIGHT
SPRINKLER / RRIG VALVE	SIGN / BUS SIGN
HYDRANT	LITTER BIN
DOMESTIC OUTLET	MAIL BOX / SIGNAL BOX
DOWNPIPE	TICKET MACHINE
DOMESTIC SUMP	ROAD / ELEC. SERVICE
STORMWATER M.HOLE	WATER SV / FP
SEP / GRATING	ELEC. / GAS METER
	GAS SERVICE
	PSM
	PEG / TBM
	SURVEY MARKS
	BOREHOLE
	POWER / LIGHT POLE
	CABLE MARKER
	STONE / WOODEN POLE
	POST / BOLLARD
	SEWER MH / IO / SIP
	UNKNOWN POINT / SERVICE
	47.87RW TOP OF RETAINING WALL
	EDGE OF VEGETATION
	ROAD SIGN / HOARD
	TREE / SHRUB
	POSSIBLE REGULATED / SIGNIFICANT TREE by measurement only (trunk greater than 2.0m circumference). Professional advice from council / arborist required.
	47.87R TOP OF RIDGE
	47.87TG BALCONY LEVEL
	47.87TC TOP OF CAPPING
	BOTTOM OF BANK
	TOP OF BANK
	CHANGE OF GRADE
	DRAIN
	SEWER PIPE UG
	TEL COMM. UG
	WATER PIPE UG
	WALL
	GI BUILDING
	CONCRETE
	FENCE
	GATE

COORDINATE SYSTEM	
VERTICAL:	AHD
HORIZONTAL:	GROUND PLANE ORIENTED TO: MGA 94 ZONE 54
SCALE: GROUND	(CSF = 1.000 192)
ADOPTED STATION & AUTHORITY	
PSM 6628/12624	RL: 40.507 SDB
PSM	E: 279461.251 SDB
	N: 6134785.204 SDB
SDB denotes SA Government survey data base	

0 1 2 4 6 8 10 m

1:100 ORIGINAL SHEET SIZE A1

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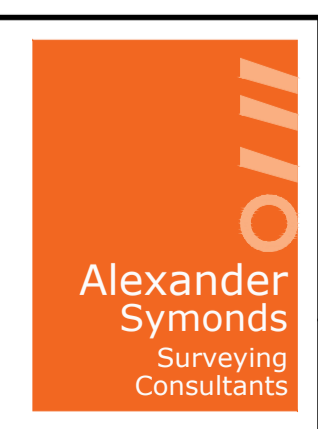
Notes: Property boundaries shown hereon have been compiled from the government records and have not been verified by field survey.

CONTOUR INTERVAL:	0.2m
SURVEY:	TLH 10-08-2018
DRAWN:	TLH 10-08-2018
CHECKED:	NAS 10-08-2018

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DETAIL AND LEVEL SURVEY
223 CHILDERS STREET
NORTH ADELAIDE

DRAWING No. SHEET 1 OF 1 REVISION

A072718_DETAIL(0) 0



Product Register Search (CT 5924/257)
Date/Time 19/03/2018 02:24PM
Customer Reference
Order ID 20180319008612
Cost \$290.00

REAL PROPERTY ACT, 1986



South Australia

The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5924 Folio 257

Parent Title(s) CT 5866/353
Creating Dealing(s) RTC 9830928
Title Issued 10/09/2004 **Edition** 4 **Edition Issued** 07/11/2007

Estate Type

FEE SIMPLE

Registered Proprietor

JOHN NARDELLI
OF 69B NORTHGATE STREET UNLEY PARK SA 5061

Description of Land

ALLOTMENT 1 DEPOSITED PLAN 64443
IN THE AREA NAMED NORTH ADELAIDE
HUNDRED OF YATALA

Easements

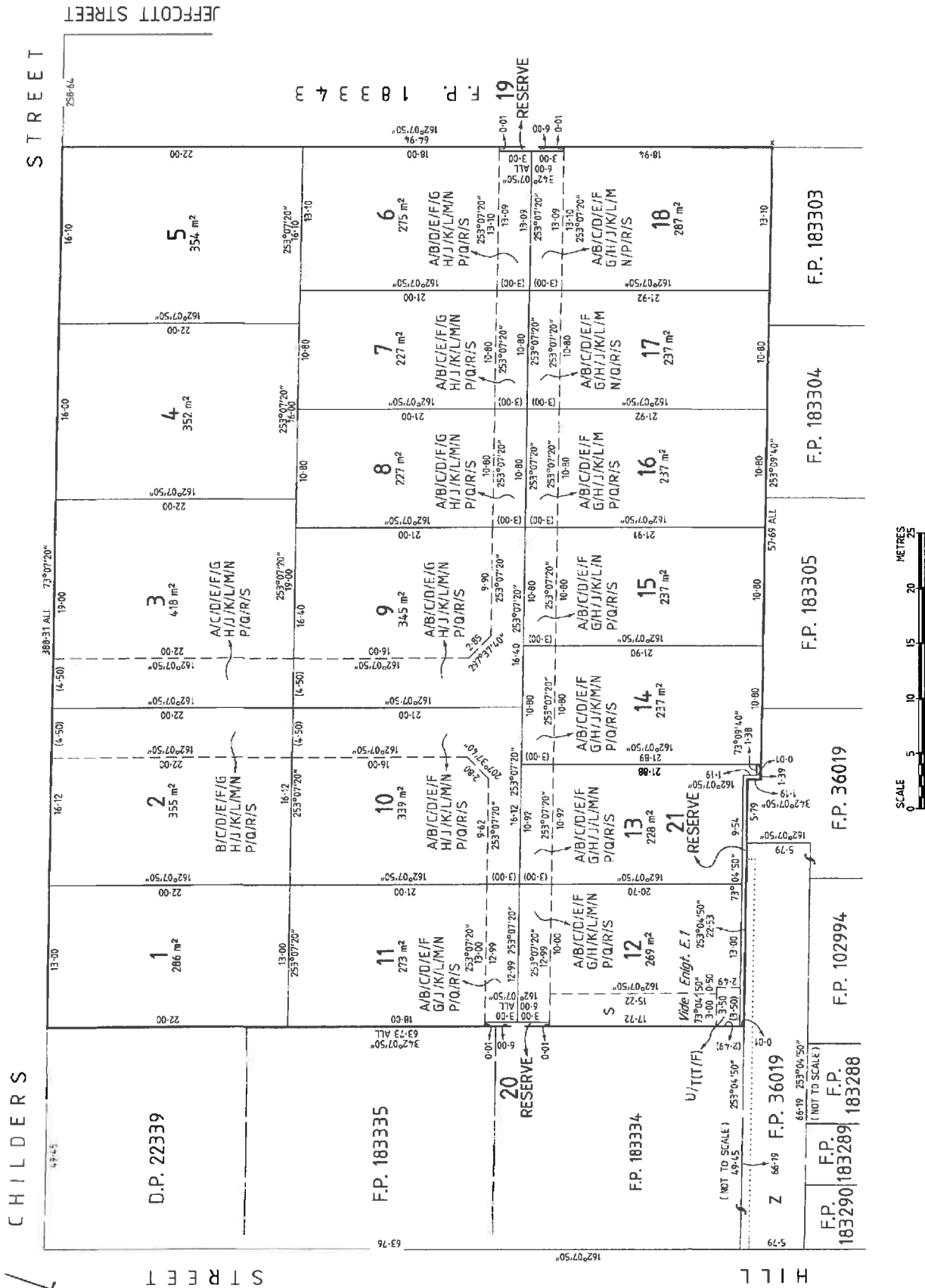
NIL

Schedule of Dealings

NIL

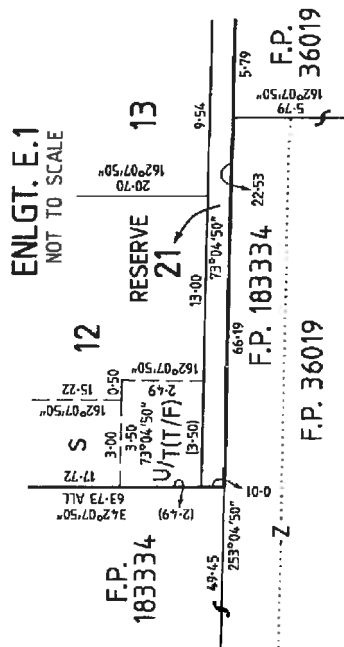
Notations

Dealings Affecting Title NIL
Priority Notices NIL
Notations on Plan NIL
Registrar-General's Notes NIL
Administrative Interests NIL





Product	Register Search (CT 5924/257)
Date/Time	19/03/2018 02:24PM
Customer Reference	
Order ID	20180319008612
Cost	\$290.00



CITY OF ADELAIDE COUNCIL ASSESSMENT PANEL ON 4/3/2019

Item No	3.3
Address	Development Site, 51-57 Hutt Street, Adelaide SA 5000 Calvary Wakefield Hospital, 282 - 300 Wakefield Street, Adelaide SA 5000 Wakefield Hospital – 28 Car Parks – 14 -20 Ifould Street, Adelaide SA 5000
Proposal	Undertake works and use vacant land at Development Site, 51-57 Hutt Street, Adelaide SA 5000 as ancillary car parking to the Calvary Wakefield Hospital located at 282 – 300 Wakefield Street, (DA/998/2018 - MF) [CAP]
Applicant	Park Fast (Aust) P/L
Relevant Development Plan	7 June 2018
Lodgement Date	27-Nov-2018
Zone / Policy Area	Capital City Zone
Public Notification	Category 1
Application Type	Application Assessed on Merit
Delegations Policy	Request by Panel Member
Recommendation	Development Plan Consent Be GRANTED

ATTACHMENTS

Plans and Supporting Information	1 - 12
Certificate of Title	13 - 14

PERSONS SPEAKING BEFORE THE PANEL**Nil**

1. DESCRIPTION OF PROPOSAL

- 1.1 The proposal seeks a temporary (24 months) consent to use the land at 51 - 57 Hutt Street for ancillary car parking for 40 car parking spaces for the occupants of the building to the south, known as the Calvary Wakefield Hospital, at 282 – 300 Wakefield Street.

In the Capital City Zone, ancillary vehicle parking to an approved or existing use is a merit form of development. The applicant has stated and provided a management regime that ensures that the parking spaces on the site will be occupied by ancillary parkers only and the public will not be admitted at any time. As a result, the Administration accepts that the application is for ancillary parking and is therefore a merit-based land use.

- 1.2 The following is proposed on the southern part of the subject site:

- A total of 40 car parking spaces are proposed.
- A recycled asphalt surface has already been laid on the site. Line marking to denote car parking spaces has already occurred, but the car park design has since been amended to conform with the relevant Australian Standard and will need to be line marked again. Swales have been installed along the northern edge which meets up with a sump in the north-east corner of the site that connects to an existing checker box culvert that discharges to the water table on Hutt Street.
- Two areas in the northern and southern corners fronting Hutt Street are proposed to be landscaped.
- The car park is accessed from the existing crossover and Right of Way to Ifould Street which enables vehicles to enter and exit the site in a forward direction.
- At least 1 sign will be erected indicating that the car park is a Private Parking Area. (This has been reinforced by a condition and that other sign/s indicating a large blue 'P' for public parking shall be removed.)

- 1.3 The car park will operate in the following way;

- All 40 car parking spaces will be used by the doctors, staff, contractors etc. of the Calvary Wakefield Hospital building located to the south at 282 – 300 Wakefield Street.
- While the hospital is still in operation access passes will be supplied to the users (doctors, admin staff etc.) from the Hospital.
- When the hospital goes into its transition de-commissioning phase then users will pay a fee at the ticket machine and display their pass on their dashboards.

2. DEVELOPMENT DATA

- 2.1 Not relevant to this application.

3. BACKGROUND

- 3.1 In October 2012, Development Approval (S10/26/2016 and subsequent variations A - C) was granted for the demolition of existing buildings and structures and the construction of a 12 level building comprising retail, commercial, 41 apartments and associated car parking. Development Approval for Stage 1 – Demolition was granted in October 2017.

After demolition of the buildings, which occurred in November 2017, the applicant halted further work on the site citing unfavourable economic conditions. The site has remained vacant ever since.

- 3.2 The Administration has previously sought legal advice as to whether any action can be taken with regard to the owner failing to construct the replacement building that forms part of an approved development and was advised that it cannot as the demolition of the building as part of an approval meets the test of whether 'substantial commencement' has occurred. With regard to the construction of another building on the site and the completion of the Development Application, legal advice obtained indicates that a person cannot be forced to undertake a development which they do not want to undertake.

- 3.3 The issue with respect to the use of land for ancillary carparking has been dealt with by the ERD and the Supreme Court in a decision relating to the SAPOL site (ERD Court decision handed down on 18 April 2013 and known as Commercial and General Pty Ltd v The Corporation of the City of Adelaide (ERD -12-257)) on Angas Street. It determined that 'ancillary parking' is an appropriate land use within the City. It confirmed that with an appropriate management regime, vacant sites could be used for ancillary parking.
- 3.4 This application was lodged in November 2018, however the use of the land for car parking commenced without approval. Council responded with enforcement action and a Section 84 notice was issued on 24 January 2019 to cease the use.
- 3.5 The applicant complied with the notice and Council agreed to put the Section 84 notice on hold pending the outcome of the development application.

4. **SITE**

- 4.1 Given the ancillary nature of the car parking in association with the adjoining site known as the Calvary Wakefield Hospital, the subject site includes the actual site at consists of:
- Site 1 - Development Site, 51-57 Hutt Street, ADELAIDE SA 5000
 - Site 2 - Calvary Wakefield Hospital, 282 - 300 Wakefield Street, ADELAIDE SA 5000
 - Site 3 - Wakefield Hospital – 28 Car Parks – 14 -20 Ifould Street, ADELAIDE SA 5000

- 4.2 Site 1 is comprised of two allotments, described as follows:

Lot No	Filed Plan	Street	Suburb	Hundred	Certificate of Title
867	181709	Hutt Street	Adelaide	Adelaide	5557/16
865	181707	Hutt Street	Adelaide	Adelaide	5851/341

Site 2 is comprised of five allotments, described as follows:

Lot No	Filed Plan	Street	Suburb	Hundred	Certificate of Title
100	36377	Hutt Street	Adelaide	Adelaide	6134/731
101	36377	Hutt Street	Adelaide	Adelaide	6134/732
102	36377	Hutt Street	Adelaide	Adelaide	6134/733
103	36377	Hutt Street	Adelaide	Adelaide	6134/734
104	36377	Hutt Street	Adelaide	Adelaide	6134/735

Site 3 is comprised of three allotments, described as follows:

Lot No	Filed Plan	Street	Suburb	Hundred	Certificate of Title
3	35015	Hutt Street	Adelaide	Adelaide	6134/728
12	100781	Hutt Street	Adelaide	Adelaide	6134/729
10	100779	Hutt Street	Adelaide	Adelaide	6134/742

- 4.3 Site 1 (the location of the proposed ancillary car park) is located on the corner of Hutt Street and Ifould Street. The site is rectangular and measures approx. 995 square metres, with a frontage of 27.66 metres to Hutt Street and a frontage of 35.97 metres (excluding the Right of Way) to Ifould Street.

- 4.4 The subject site has free and unrestricted rights of way access to a laneway which runs along the western property boundary of the site. The laneway is some 2.87 metres in width.

5. LOCALITY

- 5.1 The locality is generally comprised of non-residential development in the form of a Hospital, office accommodation and consulting rooms.
- 5.2 To the south of the subject site is the current location of, the Calvary Wakefield Hospital at 282 – 300 Wakefield Street (Site 2).
- 5.3 The hospital operates an ancillary open lot carpark (Site 3) on the adjacent site to the west. This car park provides 29 ancillary car parks.
- 5.4 The eastern side of Hutt Street contains mixture of non-residential (office, medical consulting rooms etc.) land uses.

5.5 Subject site and locality plan









KEY			
	Subject Site		Local Heritage Place
	Zone		State Heritage Place
	Locality		Policy Area Boundary

Photo 1 – View of subject site from corner of Hutt and Ifould streets.



Photo 2 – View of subject site from existing entry on Ifould Street.



Photo 3 – View of existing and proposed entry to car park.



Photo 4 – View of subject site looking north along Hutt Street.



6. **PUBLIC NOTIFICATION**

6.1 The proposal is a Category 1 form of development therefore no public notification is required.

7. **REQUIRED EXTERNAL REFERRALS**

7.1 No external referrals required

8. **SPECIALIST ADVICE**

8.1 **Traffic**

There are no traffic/transport related objections to this development, subject to the following matter/s being addressed:

- All car parks, driveway and vehicle manoeuvring areas on the Land shall be, drained, paved and sealed prior to the operation of the carpark to the reasonable satisfaction of the Council so as to ensure that no surface water or rubble on the Land is transported across the adjacent public footpath.
- All line marking for car park spaces and traffic signs on the Land shall conform to AS/NZS 2890.1:2004 Off-street Car Parking.

The following matters require further clarification:

- How do users get access to the area as it is controlled by a boom gate?
- Does the subject site have a ROW over the private road which provides access to the carpark?

8.2 **Administration / Applicant response:**

- Conditions of approval relating to the surface treatment and line marking have been included in the recommendation.
- While the hospital remains in operation the boom gate swipe card system will remain in place as doctors and admin. staff will occupy most of the car parks.
- When the hospital goes into its transition de-commissioning phase then contractors, staff and parkers from the hospital will use the carpark. At this stage a pay and display dash board system will need to operate to identify ancillary car parkers.
- The subject site has a free and unrestricted ROW over the private road (Land marked A).

9. DETAILED ASSESSMENT

9.1 Summary of Zone Objectives & Principles

Subject DP Ref	Assessment	Achieved ✓ Not Achieved ✗
Desired Character	<ul style="list-style-type: none"> • Not achieved other than the works to the site would not preclude future development of the site in accordance with the desired character. • The desired character statement for the Capital City Zone seeks to increase the population of the City and its vibrancy. It also seeks high scale development balanced with the provision of an interesting pedestrian environment and human scale at ground level. Land uses that generate a high level of pedestrian activity and shelter is also sought. • The Zone is recognised as the economic focus of the State providing a range of employment opportunities. The Wakefield Hospital contributes to employment and provides important medical services to the community. • Refer Section 9.3 below. 	✗
Objectives O1 - 8	<ul style="list-style-type: none"> • Not achieved. • The proposal will not reinforce the grid layout of Adelaide's streets or allow the site to be developed to its full potential in the short term. • Refer Section 9.3 below. 	✗
Land Use P1	<ul style="list-style-type: none"> • While not specifically listed as an envisaged land use, ancillary car parking is not a non-complying form of development within the Zone i.e. is a merit form of development. • The proposed works and use will at least provide additional car parking within the locality and provide an improvement on what would otherwise be a vacant piece of land which if not maintained could become a greater visual blight than the proposed car park. 	-
Form and Character P5	<ul style="list-style-type: none"> • Not achieved. • As per desired character above. 	✗
Design and appearance P6 - 20	<ul style="list-style-type: none"> • Not achieved. • The reinforcement of the City's grid will not occur via high-rise development, achieve minimum building height anticipated nor contribute to pedestrian comfort. • Refer Section 9.3 below. 	✗

9.2 Summary of Council Wide Objectives & Principles

Subject DP Ref	Assessment	Achieved ✓ Not Achieved ✗
ENVIRONMENTAL		
Crime prevention through urban design O25 P80-84	<ul style="list-style-type: none"> • Not achieved. • An open-lot car park will not promote site security, providing a dark, concealed area with minimal surveillance over the public realm during late night hours. • The use of the site is not anticipated to increase activity and passive surveillance of Hutt or Ifould streets a great deal (albeit some activity would be anticipated during hours of operation). 	✗
Stormwater management O36-40 P125-130	<ul style="list-style-type: none"> • The site has been capped with a recycled bitumen surface. • It was initially thought that stormwater from the site would not be appropriately managed on-site and was suggested that a concrete upstand be installed around the perimeter. • However, it has been confirmed that swales have been installed along the northern boundary of the property. This meets up with a sump in the north-east corner of the site that connects to an existing checker box culvert that discharges to the water table on Hutt Street. • Due to the temporary nature, the applicant's engineers have suggested this as the preferred concept for storm water management on the site due to the cost of installing concrete upstands. • The applicant has advised that this can likewise be replicated where necessary on the eastern and southern boundary of the site utilising the existing discharge culverts to the respective Street water tables. • A condition of approval is recommended that all car parks, driveway and vehicle manoeuvring areas on the Land are, drained, paved and sealed to the reasonable satisfaction of the Council to ensure that no surface water or rubble on the Land is transported across the adjacent public footpath. 	✓

<p>Active street frontages</p> <p>O54-55 P197-200</p>	<ul style="list-style-type: none"> • Not achieved. • It is considered that the open lot car park (ancillary to the existing business operations) will not enhance the public environment and provide interest at street level. • The installation of trees and landscaping will help mitigate the negative impacts, albeit only to a small degree. • A condition is recommended seeking details (species and size) prior to the granting of Development Approval should the proposal be supported. • Refer Section 9.3 below. 	<p style="text-align: center;">x</p>
<p>Vacant Sites & Buildings</p> <p>O58 P206-208</p>	<ul style="list-style-type: none"> • Not achieved. • The 24 month lease period means this site is unlikely to be brought into use for a desired land use in the Zone in the short term. • While not an ideal outcome, as evidenced by the photograph on the front page of the applicants Planning Statement, it is possible that without appropriate management, the site could become an even greater eyesore within the locality. • The sealing, landscaping and use of the land will at least ensure that the land does not become a greater blight on the locality. 	<p style="text-align: center;">x</p>
<p>Landscaping</p> <p>O55 P207-210</p>	<ul style="list-style-type: none"> • Partially achieved. • The carpark design allows enough space to provide some landscaping within the northern and southern corners on the Hutt Street frontage. • No details of the plant species have been provided. • A condition that a detailed landscaping plan be provided, and landscaping established prior to occupation is recommended. 	<p style="text-align: center;">✓ x</p>
<p>Squares & Public Spaces</p> <p>O57-59 P219-223</p>	<ul style="list-style-type: none"> • Partially achieved. • While there is adequate space for landscaping, over all, the development cannot be said of be of a high quality that forms an integral part of the public domain, provide sanctuary or visual pleasure. • However, given the approved building is not proceeding, the proposed works and use will at least provide an improvement on what would otherwise remain a vacant piece of land which, if not maintained, could become a greater visual blight than the proposed car park. • Although the aspirations of the Development Plan for active frontages, high density and buildings that reinforces the gridded layout of the street are not met, this development does not preclude this from occurring in the future. 	<p style="text-align: center;">✓ x</p>

<p>Traffic and vehicle access</p> <p>O72-74</p> <p>P242-250</p>	<ul style="list-style-type: none"> • Partially achieved. • Development does not support a shift toward active and sustainable transport modes. • Vehicle access points are located to minimise local traffic hazards and vehicle queuing on public roads. 	<p style="text-align: center;">✓ x</p>
<p>Car parking</p> <p>O75-76</p> <p>P251-265</p>	<ul style="list-style-type: none"> • Partially achieved. • PDC 263 seeks ancillary car parking to serve a development should be located away from frontages to major streets wherever possible. The development seeks open-lot car parking to Hutt Street, which is a 'Secondary Pedestrian Area' and serves as a 'Primary City Access' Street, and therefore this PDC is not achieved. • Refer Section 9.3 below. 	<p style="text-align: center;">✓ x</p>
<p>Economic growth & land use</p> <p>O77-80</p> <p>P266-271</p>	<ul style="list-style-type: none"> • Not achieved. • However, the proposed development does not preclude future re-development of the site more aligned to the desired character of the zone. 	<p style="text-align: center;">x</p>

9.3 **Detailed Discussion**

Desired Character and Land Use

The Desired Character for the Capital City Zone is for the area to continue and develop as the economic and cultural focus of the State, providing a range of facilities both during the day and night time. The Zone envisages high quality development that engages with and creates a human scale at ground level. Pedestrian activity is encouraged as well as public art. In this respect, the proposal to use the land for car parking does not contribute to the achievement of the Desired Character.

Car parking that takes the form of multi-level car parks or parking provided within existing buildings is anticipated in the Zone in certain areas and under certain conditions. While the use of the vacant site for ancillary parking is not specified as a desired land use, it is anticipated in the Zone as a merit development because ancillary parking is specifically excluded from the list of non-complying land uses.

Transport, Access and Parking

As outlined in the letter from the Hospital (see Attachments), the intention is to use the land for open-lot, at grade, car parking ancillary to the existing hospital operations and not for public car parking. While ancillary use for car parking is anticipated in the Zone, Zone PDC 32 prescribes the circumstances where ancillary car parking may be deemed appropriate. Zone PDC 32 anticipates that vehicle car parking and multi-level structures that are located 'within buildings' should:

- enhance activate street frontages by providing land uses such as commercial, retail or other non-car park uses along ground floor street frontages;
- complement the surrounding built form in terms of height, massing and scale; and
- incorporate facade treatments along major street frontages that area sufficient.

Zone PDC 32 anticipates that car parking within a building is located away from street frontages and 'hidden' from the street. As the car parking is not located within a building, the proposal will not comply with the intention of Capital City Zone PDC 32 in that the car parking will be visible from both the Hutt Street and Ifould Street frontages. To help mitigate the visual impact, it is recommended that landscaping be Incorporated where possible. The applicant has indicated that there is enough space within the northern and southern corners of the site along the Hutt Street boundary. However, only a rudimentary landscaping plan has been provided with respect to the tree / plant species. As such, a condition is recommended that a more detailed landscaping plan be provided, and the landscaping be established within 3 months is recommended.

Council Wide Objectives 71 and 72 call for an adequate supply of car parking to be provided in the City (both long and short stay) to support business. This proposal meets Objectives 71 and 72 because it provides car parking spaces for staff members of the adjacent Hospital.

The proposal also meets PDC 251 in that the proposal provides adequate areas for traffic circulation and pedestrian safety. It allows vehicles to enter and exit the site in a forward direction. It uses a single shared driveway and crossover to gain entry and exit from the site minimising the interruption to the pattern of built form along Hutt Street and the loss of on-street parking spaces. The proposed layout allows for some landscaping to be planted within the northern and southern corners of the site along the Hutt Street boundary, as called for in PDC 251(i). The landscaping will assist in reducing the visual impact of the car parking area, albeit to a marginal degree. While not an ideal outcome, there is the potential, if not maintained, for the vacant land to become a greater eyesore which would detract from the amenity of the locality to a greater degree than the carpark.

In accordance with PDC 252, the proposal provides a disabled parking space in accordance with the relevant Australian Standard.

The proposal does not accord with PDC 254 which states that off-street parking should be located away from street frontages however, the landscaping provided on the Hutt Street frontage will assist in reducing the visual impact of the car parking.

Built Form and Design

The works to the site have all but been completed however, the site will need to be re-line marked following a revised layout which conforms with the relevant Australian Standards. A recycled asphalt surface has already been laid on the site with swales installed along the northern edge (to capture stormwater runoff) which meets up with a sump in the north-east corner of the site that connects to an existing checker box culvert that discharges to the water table on Hutt Street. It is recommended that wheel stops be installed to ensure vehicles park within the carpark and do not overhang the footpath. A condition of that these be install prior to the operation is included within the recommendation.

Two areas in the northern and southern corners fronting Hutt Street are proposed to be landscaped. These areas are sufficient in size to accommodate at least one tree together with low plantings. A condition of approval is recommended that this be installed prior to the occupation of the car park.

The car park is accessed from the existing crossover and Right of Way to Ifould Street which enables vehicles to enter and exit the site in a forward direction.

It is recommended, via a condition of approval, that the current blue public 'P' will be removed and replaced by a Private Parking sign. The ticket machine will remain, and the existing boom gate over the roadway serve both the existing and proposed car park.

Other than through the provision of landscaping to slightly improve the appearance of this part of the subject site, the Administration cannot force the owner to continue with the valid approval to construct the previously approved building. Potentially, the site could remain vacant for some years. However, in granting consent to this application, the ancillary car parking use of the site would remain as a legally valid use of the site for a temporary period of 24 months after which time the land use would cease and the site return to vacant land.

9.4 Conclusion

The proposal is not considered to be seriously at variance with the provisions of the Development Plan because it proposes a land use and form of development that is a merit form of development in the Zone and, in this instance, is recommended for support because of the following:

- It fulfils Council Wide Objectives 71 and 72 which call for an adequate supply of car parking to be provided in the City to support business. This proposal provides car parking spaces for staff of the adjacent hospital.
- The proposal addresses PDC 250 in that the layout provides adequate areas for traffic circulation and pedestrian safety. In accordance with PDC 251, it allows vehicles to enter and exit the site in a forward direction. It uses a single shared driveway and crossover to gain entry and exit from the site minimising the interruption to the pattern of built form along Hutt Street and the loss of on-street parking spaces.
- The proposal provides landscaping in the northern and southern corners as called for in PDC 251(i) which will reduce the visual impact of the car parking area, albeit only marginally.
- In accordance with PDC 252, the proposal provides a disabled parking space in accordance with the relevant Australian Standard.
- The proposal does not accord with PDC 254 which states that off-street parking should be located away from street frontages, but the landscaping provided on the Hutt Street frontage will assist in reducing the visual impact of the parking.

In summary, while the proposal is not a desirable land use, previous legal advice confirmed an applicant cannot be forced to continue with a valid Development Application if they do not wish to do so and Administration cannot force the owner of the site to lodge an application.

Although the aspirations of the Development Plan for active frontages, high density and buildings that reinforces the gridded layout of the street are not met, this development does not preclude this from occurring in the future.

The proposed land use puts the land to a purpose that is needed within the locality and does not develop the land in a way that prevents a future, more desirable land use and built form from being approved.

Thus, it has been determined that, on balance, the proposal warrants Development Plan Consent.

10. **RECOMMENDATION**

That the development, the subject of the application from Park Fast (Aust) P/L to undertake works and use vacant land at Development Site, 51-57 Hutt Street, Adelaide SA 5000 as ancillary car parking to the Calvary Wakefield Hospital located 282 – 300 Wakefield Street as shown on plans designated DA/998/2018:

1. Is not seriously at variance with the provisions of the Development Plan and
2. Be GRANTED Development Plan Consent, subject to the following conditions and advices:

Conditions

1. **The Development shall be undertaken in accordance with the plans, drawings, specifications and other documents submitted to the Council that are relevant to the consent as listed below:**
 - **Planning Statement and site plan prepared by Advantage Planning.**
 - **Traffic report prepared by Phil Weaver and Associates dated 31 January 2018**
 - **Letter of Support provided by Calvary Wakefield Hospital dated 15 February 2019.**

to the reasonable satisfaction of the Council except where varied by conditions below (if any).

Reason: *To ensure that the Development is undertaken in accordance with the plans and details submitted.*
2. **The temporary car park, herein approved, shall only operate as an ancillary car park to the Calvary Wakefield hospital at 282 – 300 Wakefield Street whilst in operation and during the de-commissioning stage. The use shall cease once the de-commissioning of the Hospital has been completed or within 24 months from the date of development approval.**

Reason: *To ensure that the Development is undertaken in accordance with the plans and details submitted.*
3. **All car parks, driveway and vehicle manoeuvring areas on the Land shall be, drained, paved and sealed prior to the operation of the carpark to the reasonable satisfaction of the Council so as to ensure that no surface water or rubble on the Land is transported across the adjacent public footpath.**

Reason: *To ensure that water/rubble is not transported onto a public footpath and as such does not compromise pedestrian safety.*
4. **All line marking for car park spaces and traffic signs on the Land shall conform to AS/NZS 2890.1:2004 Off-street Car Parking.**

Reason: *To ensure that the Development meets the requirements of the relevant Australian Standards.*
5. **The finished floor level of the car park entry and exit points on the Land shall match the adjacent road level unless otherwise agreed to by the Council in writing.**

Reason: *To ensure public footpaths remain level and as such pedestrian safety and amenity is not compromised.*

6. **All storm water drainage shall discharge so that it does not flow or discharge onto land of adjoining owners or, in the opinion of Council, detrimentally affect structures on this site or any adjoining land.**

Reason: *To ensure storm water is disposed of in a controlled manner.*

7. **The connection of any storm water discharge from the Land to any part of the Council's underground drainage system shall be undertaken in accordance with the Council Policy entitled 'Adelaide City Council Storm Water Requirements' to the reasonable satisfaction of the Council.**

Reason: *To ensure that adequate provision is made for the collection and dispersal of stormwater.*

8. **A detailed landscaping plan, including a list of the species to be planted, shall be submitted to and approved by Council prior to the granting of development approval to the Development. The establishment of all landscaping shall be undertaken prior to the operation of the car park. Such landscaping shall be maintained in good health and condition to the reasonable satisfaction of the Council at all times. Any dead or diseased plants or trees shall be replaced forthwith to the reasonable satisfaction of the Council.**

Reason: *To provide a degree of amenity within the locality through the provision of landscaping as part of the Development.*

9. **The existing signage shall be removed from the site and replaced with a signage indicating that the site is only to be used for Private Parking associated with the hospital. The new Private Parking sign shall conform with the requirements of the Private Parking Areas Act and AS/NZ1742.3. The wording for the sign shall be provided prior to Development Approval being issued.**

Reason: *To ensure that the Development is undertaken in accordance with the plans and details submitted.*

10. **Wheel stops shall be installed to each car parking space prior to the operation of the car park.**

Reason: *To ensure that vehicles do not compromise pedestrian safety.*

Advices

1. Development Approval will not be granted until a Building Rules Consent has been obtained. This may be obtained through either Council or a Private Building Rules Certifier. A separate application must be submitted for such consents. No building work or change of classification is permitted until the Development Approval has been obtained.
2. Pursuant to the provisions of Regulation 48 of the Regulations under the Development Act 1993, this consent will lapse at the expiration of 12 months from the operative date of the consent unless the development has been lawfully commenced by substantial work on the site of the development within such period, in which case the approval will lapse within 3 years from the operative date of the consent subject to the proviso that if the development has been substantially or fully completed within those 3 years, the consent will not lapse.
3. A Building Site Management Plan is required prior to or at the time of application for Development Approval. The Building Site Management Plan should include details of such items as:

- Work in the Public Realm
- Street Occupation
- Hoarding
- Site Amenities
- Traffic Requirements
- Servicing Site
- Adjoining Buildings
- Reinstatement of Infrastructure

Unsecure building sites have been identified as a soft target for vandalism and theft of general building materials. The Adelaide Local Service Area Police and the Adelaide City Council are working together to help improve security at building sites. Items most commonly stolen or damaged are tools, water heaters and white goods. To minimise the risk of theft and damage, consider co-ordinating the delivery and installation of the goods on the same day. Work with your builder to secure the site with a fence and lockable gate. Securing the site is essential to prevent unauthorised vehicle access and establishes clear ownership. If you have any further enquiries about ways to reduce building site theft, please do not hesitate to contact the Adelaide Local Service Area Community Programs Section on 8463 7024. Alternatively, you can contact Adelaide City Council for further assistance and information by calling Nick Nash on 8203 7562.

4. Any activity in the public realm, whether it be on the road or footpath, requires a City Works Permit. 48 hours' notice is required before commencement of any activity.

The City Works Guidelines detailing the requirements for various activities, a complete list of fees and charges and an application form can all be found on Council's website at www.cityofadelaide.com.au

When applying for a City Works Permit you will be required to supply the following information with the completed application form:

- A Traffic Management Plan (a map which details the location of the works, street, property line, hoarding/mesh, lighting, pedestrian signs, spotters, distances etc.);
- Description of equipment to be used;
- A copy of your Public Liability Insurance Certificate (minimum cover of \$20 Million required);
- Copies of consultation with any affected stakeholders including businesses or residents.

Please note: Upfront payment is required for all city works applications.

Applications can be received by Council via the following:

Email: cityworks@cityofadelaide.com.au

Fax: 8203 7674

In Person: 25 Pirie Street, Adelaide

5. It is recommended that as the applicant is undertaking work on or near the boundary, the applicant should ensure that the boundaries are clearly defined, by a Licensed Surveyor, prior to the commencement of any building work.
6. The applicant must ensure there is no objection from any of the public utilities in respect of underground or overhead services and any alterations that may be required are to be at the applicant's expense.
7. Section 779 of the Local Government Act provides that where damage to Council footpath / kerbing / road pavement / verge occurs as a result of the development, the owner / applicant shall be responsible for the cost of Council repairing the damage.

**Item No. 3.3 – Attachments 1 – 14 (Development Site, 51-57 Hutt Street, Adelaide SA 5000;
Calvary Wakefield Hospital, 282 - 300 Wakefield Street, Adelaide SA 5000; Wakefield
Hospital – 28 Car Parks – 14 -20 Ifould Street, Adelaide SA 5000)**

Pages 145 to 158

ATTACHMENTS

Plans and Supporting Information	1 - 12
Certificate of Title	13 - 14

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PLANNING STATEMENT

Council: Adelaide City Council

Location: 51-57 Hutt Street 2-12 Ifould Street, Adelaide

Proposal: To approval additional ancillary on site car parking spaces for the Wakefield Hospital located at 91-99 Hutt Street, Adelaide



Vacant site located on the corner of Hutt Street and Ifould Street adjacent the Wakefield Hospital



Report prepared by Advantage Planning

The Location

The subject land is located on the corner of 51-57 Hutt Street and 2-12 Ifould Street, Adelaide. The Wakefield Hospital and subject land are both located on the western side of Hutt Street adjacent each other. The site has been cleared for development but is presently dirt and weeds fenced off by temporary fencing. Located adjacent and west of the subject land is an existing car park utilised by doctors and Wakefield Hospital staff.

Background

A series of Development Applications have been lodged for the site the last one (S10/26/2016/C) approved on the 24th April 2018. This last approval amended five other development applications and obtained approval for demolition and construction of a 12 level apartment building with basement and above ground car parking. The demolition has gone ahead but the owners of the land believe the economy and supply of apartments has changed so they do not wish to proceed with the development in the immediate future.

The Proposal

The proposal is to tidy up the site, level the ground, seal the surface and line mark parking spaces for use as an ancillary car park for the Wakefield Hospital. Only a two year temporary approval is applied for as the Wakefield Hospital is to be vacated and decommissioned commencing later next year. Therefore the temporary car park will be used by hospital staff, removalists, contractors, visitors and doctors in this two year period. Access through the existing boom gate and existing car park will ensure only hospital (ancillary) parkers will access the proposed car park.



Boom gate to existing car park in Ifould Street

The Adelaide (City) Development Plan as consolidated 7 June 2018

General - Car Parking

Objective 54 The temporary use of vacant or underdeveloped land which is not likely to be the subject of long term development in the short term.

Principle 204 Vacant and underdeveloped land and buildings should be brought into use as soon as possible

Principle 205 Where there is no immediate prospect of long term use, a temporary use for up to 24 months (excluding temporary car parks) is encouraged. Temporary uses of vacant or underdeveloped land should be landscaped, screened and/or treated so that negative impacts to the public realm are minimised.

The owners of the land do not believe it is the right time to proceed with the development of a twelve storey apartment building on the site. The temporary use of the site, as an ancillary car park in association with the Wakefield Hospital, for a temporary two year period would serve a useful purpose and see the amenity of the site improved. Landscape plantings are not warranted for a temporary two year period but fencing across the Hutt Street frontage to screen the site could be warranted.

Objective 71 To meet community expectations for parking supply while supporting a shift toward active sustainable transport modes

Objective 72 An adequate supply of short-stay and long-stay parking to support desired growth in City activities without detrimental affect on traffic and pedestrian flows.

It is generally acknowledged there is a shortage of on street parking along Hutt Street and car parks in the area are well patronised. Additional off street parking for the temporary use of hospital staff and visitors will assist in meeting short and long term demand.

Principle 251 Car parking areas should be located and designated to:

- (a) Ensure safe and convenient pedestrian movement and traffic circulation through and within the car parking area*
- (c) enable, where practical, vehicles to enter and leave the site in a forward direction*
- (d) minimise interruption to the pattern of built form along street frontages*
- (e) provide for access off minor streets and for the screening from public view of such car parking areas by buildings on the site wherever possible*
- (g) minimise loss of existing on-street parking spaces arising through crossovers and access*

The car parking layout proposed would meet the relevant Australian Standards so vehicles can leave in a forward direction via the existing crossover and the minor street (Ifould Street). Screening of the site from Hutt Street is something that could be considered.

Principle 254 Off- street parking should:

- (a) Be controlled in accordance with the provisions for the relevant Policy Area*
- (b) Be located away from the street frontages or designed as an integral part of buildings on the site. Provision of parking at basement level is encouraged; and*
- (c) Not include separate garages or carports in front of buildings within front set-backs*

Signage would be erected on the site stating that the parking spaces are provided for ancillary use in relation to the remaining building.

Principle 260 Multi-level car park and short stay public use of ancillary car parking spaces are discouraged at ground floor street frontage in the Primary Pedestrian Area identified in Map Adel/1 (Overlays 2, 2A and 3)

Principle 263 In areas outside the Core and Primary Pedestrian Areas identified in Map Adel/1 (Overlays 2, 2A and 3), car parking may be provided to serve a development within the site of the development or elsewhere. Where car parking is provided, it should be:

- (a) provided with vehicle access points that do not cross major walking routes identified in Map Adel/1 (Overlay 2) and*
- (b) located away from frontages to major street wherever possible*

The site is not located within the Core and Primary Pedestrian Area so the provision of temporary ancillary car parking within the hospital site or elsewhere is considered appropriate. The issue is the site fronts Hutt Street, landscape plantings are not practical for a two year period but fencing could be appropriate. With reference to the photographs included in this Planning Statement the site is presently overgrown and unsightly, the proposed carpark would see the site visually improved.

Capital City Zone – Desired Character

Non-complying Development

The following kinds of development are non-complying:

Vehicle parking except:

- (a) Where it is ancillary to an approved or existing use*

The car park will be ancillary to the Wakefield Hospital for use by staff, visitors and contractors with access controlled by the existing boom gate. The point of charging for car parking is to manage the car park and ensure vehicle turn over.

Legal Precedent

1. Adelaide City Investments Pty Ltd v Adelaide City Council

Judgement of The Full Court

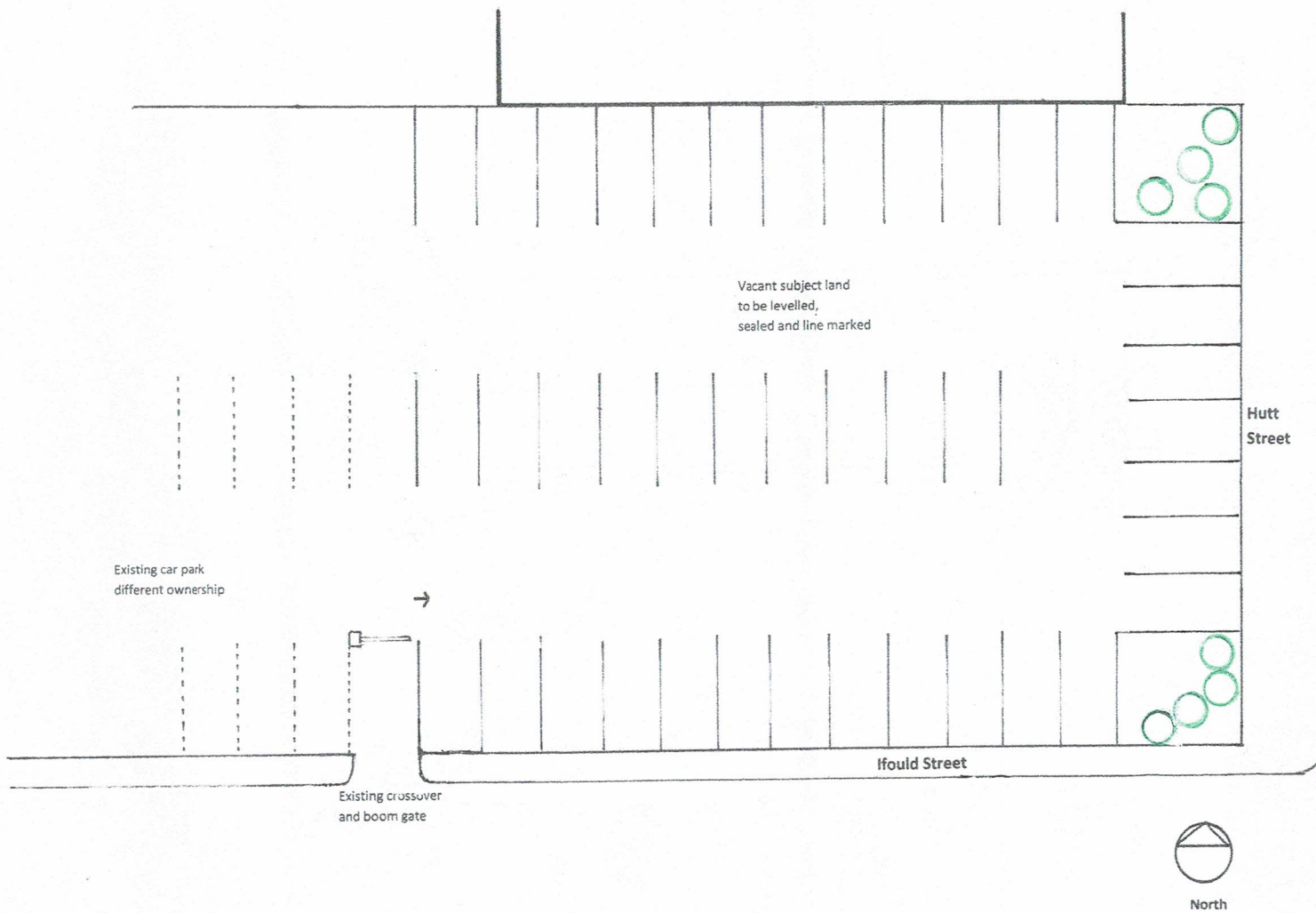
A use of land ancillary to another (predominant) use of land is not regarded for planning purpose as a use in its own right: see Roncast Caterers Pty Ltd v Davis (1981) 26 SASR 545 at 547 King CJ and at 548-549 Sangster J; Davenport v Waverly Municipal Council (1981) 46 LGRA 97 at 108-109 Cripps J; Minister of Environment and Planning v District Council of Stirling (1990) 53 SASR 505-at 512-513 Matheson J.

2. Commercial & Genera Pty Ltd v The Corporation of the City of Adelaide C2/S/2013

The Court held use does not constitute development - alternatively the use if established could be considered a complying development. In the further alternative if the proposal constitutes development and is not a complying development, approved on merit is warranted subject to conditions.



Simon Grose
Managing Director
Advantage Planning Services
27 November 2018



Advantage Planning Services

23 Dover Street
 Malvern SA 5061
 Mobile 0400 024 500
 Email: simon.grose@advantageplanning.com.au

**Site Plan: 51-57 Hutt Street and
 2 -12 Ifould Street, Adelaide**

Proposal: To establish an ancillary car park on vacant land

Scale 1: 200



Project: 23 (135)
 Date: 23/2 /2019
 Drawn: S.G.

Consultant Traffic Engineers
ABN 67 093 665 680

204 Young Street
Unley SA 5061

P: 08 8271 5999
F: 08 8271 5666
E: mail@philweaver.com.au

File: 222-18

31 January 2018

Mr Franco Boscaini
Boscaini Commercial Property Consultants Pty Ltd
PO Box 3388
NORWOOD SA 5067

Dear Mr Boscaini,

PROPOSED TEMPORARY CAR PARK – 55 HUTT STREET, ADELAIDE

I refer to our recent discussions in relation to the proposed use of the above site for off-street car parking. I note that the subject land was previously approved for redevelopment as a mixed-use development including residential accommodation and commercial areas within the ground floor together with ancillary car parking.

However, I note that it is now proposed to seek approval for use for the use of the subject as an at-grade parking area on a temporary basis prior to the previously approved development proceeding.

EXISTING SITUATION

The subject site is located on the north-western corner of the intersection of Hutt Street with Ifould Street, Adelaide.

The subject site previously accommodated two adjoining commercial properties located at 55 Hutt Street, Adelaide. These buildings have now been demolished and the land is currently vacant.

The subject site has frontages of 27.6m to Hutt Street and approximately 35m to Ifould Street.

There was previously no on-site parking associated with the subject site. However, there is an existing right of way adjacent to the western side of the site off Ifould Street. The subject site has a legal use over this right of way. The subject right of way is currently used to access an at-grade car park to the west of the subject site. This car park is provided as a staff car park by the Wakefield Hospital.

The hospital car park provides a total of 29 linemarked car park spaces and is accessed via an approximately 6m wide crossover on Ifould Street adjacent to the western boundary of 55 Hutt Street. This driveway incorporates the approximately 3.0m wide right of way. Vehicular access into and out of the hospital car park is nominally controlled by a boom gate.

Hutt Street, adjacent to the subject site, provides two traffic lanes and a bicycle lane in each direction separated by a central median.

Ninety-degree angled parking is provided on Hutt Street directly in front of the subject site. Parking in this area is restricted to two-hour periods between 8:00am and 6:00pm Monday to Friday and between 8:00 am and 12:00 pm Saturday. Outside of these periods, parking in this area is unrestricted.

Ifould Street, adjacent to the subject site, has a kerb to kerb width of approximately 8.5m. Further to the west, this roadway narrows to approximately 7m. Parking is generally restricted to two-hour periods between 8:00am and 6:00pm Monday to Friday and between 8:00am and 12:00pm Saturday on both sides of this roadway.

A loading zone is located on the southern side of Ifould Street approximately 30m to the west of Hutt Street. Parking is restricted to 10-minute periods between 8:00am and 6:00pm Monday to Friday and between 8:00am and 12:00pm Saturday.

TRAFFIC SURVEYS

In order to determine the number of vehicles entering / exiting the intersection of Ifould Street with Hutt Street, counts of cars entering and exiting Ifould Street were previously undertaken by my firm on Friday 12th February 2016 during morning and afternoon periods, namely:

- From 7:30am to 9:30am; and
- From 3:00pm to 6:00pm.

During the above periods, queues of traffic were also recorded in the following areas:

- Traffic exiting Ifould Street onto Hutt Street; and
- Traffic turning right into Ifould Street from Hutt Street.

Analysis of the traffic surveys identified:

- 78 vehicles entered / exited Ifould Street (63 in / 15 out) during the am peak period, which occurred between 7.45am and 8.45am; and
- 71 vehicles entered / exited Ifould Street (48 in / 23 out) during the pm peak period, which occurred between 3.15 pm and 4.15 pm.

Figure 1 identifies the peak hour volumes of traffic turning into and out of Ifould Street at the intersection with Hutt Street during the above survey.

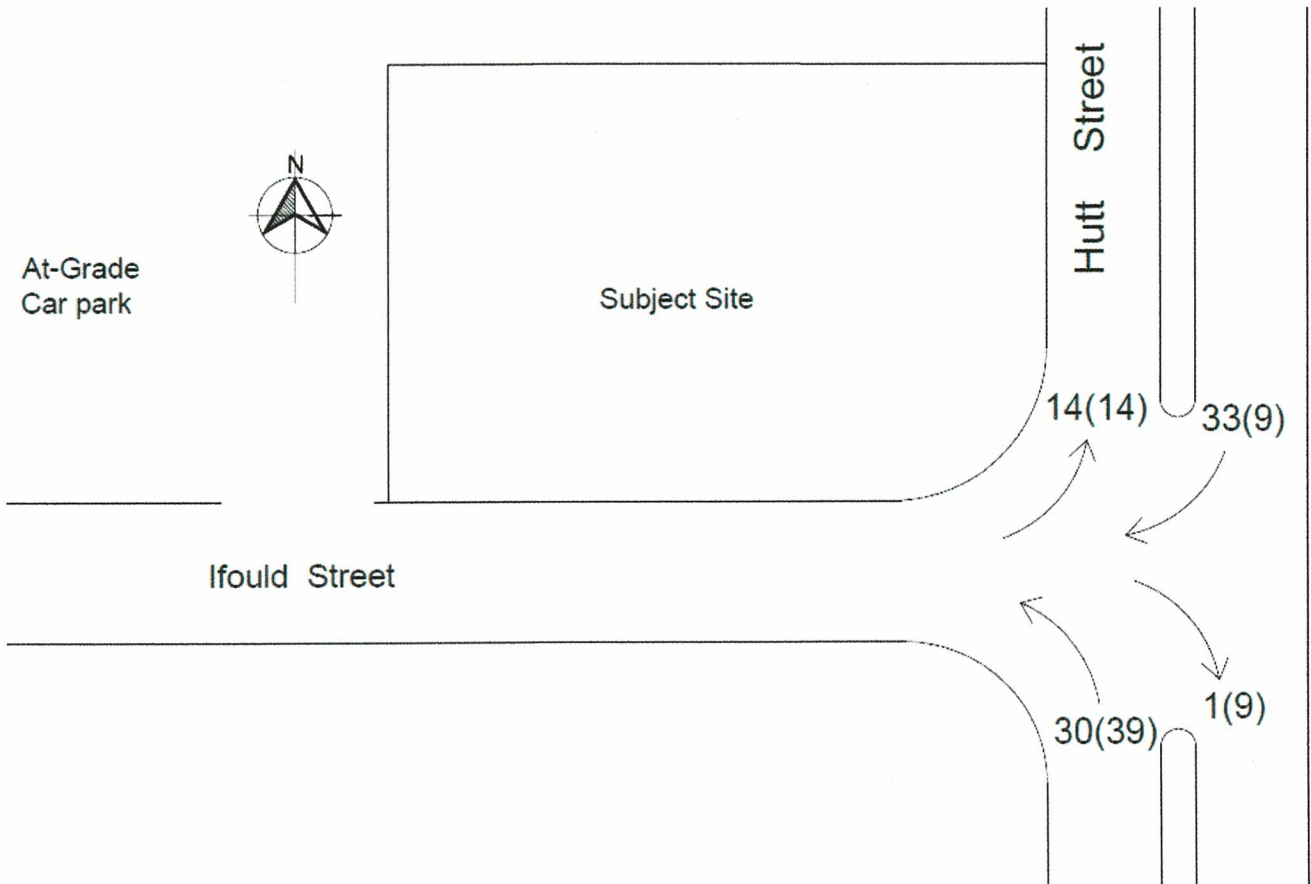


Figure 1: am(pm) peak hour traffic entering and exiting Ifould Street to and from Hutt Street (Friday 12th February 2016)

The surveys identified that in the morning peak hour period there were no more than three cars queued in Hutt Street when drivers were waiting to turn right into Ifould Street. At no stage was there more than one car waiting to exit out of Ifould Street.

In the afternoon peak hour period there was at most one car queued on Hutt Street when drivers were waiting to turn right into Ifould Street. At no stage were there more than two cars waiting to exit out of Ifould Street onto Hutt Street, during the survey period.

It is considered that that there would not have been any significant changes to the volume of traffic entering and existing Ifould Street in the period since the above surveys were undertaken.

PROPOSED DEVELOPMENT

The proposed development will provide for temporary use of the subject site as a commercial at-grade car parking area. It is understood that this car park will be operated primarily as an all-day car park, although short-term car parking may also be available. This car parking area would be operated by Park Fast.

The subject car park will provide a total of 40 car parking spaces and is identified in *Figure 2* below.

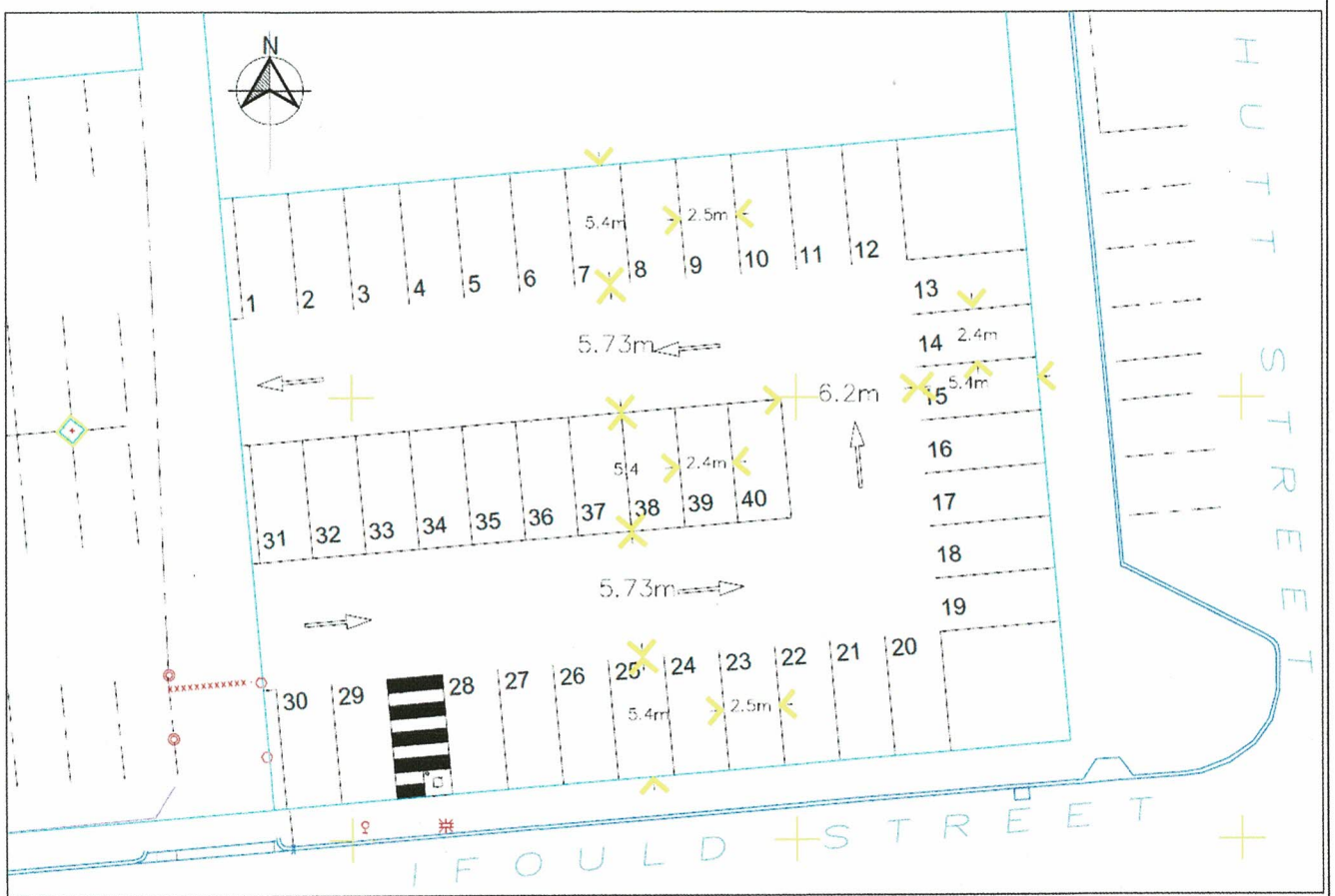


Figure 2: proposed temporary car park layout – 55 Hutt Street, Adelaide

The design of the car park will provide:

- Space widths of 2.4m or 2.5m;
- Bay lengths of 5.4; and
- Aisle widths varying from 5.73m to 6.2m. The narrower aisle widths relate to both of the east-west car parking aisles with the 6.2m aisle width relating to the north-south car parking aisle at the eastern end of the car park.

The above dimensions would generally conform to the spatial requirements of the relevant off-street car parking standard (AS/NZS 2890.1:2004) although the east-west aisles will be marginally narrower than the minimum 5.8m aisle width required by this standard. In order to minimise any impact on manoeuvrability into and out of these spaces it is recommended that a one-way anti-clockwise circulation pattern be adopted. It should also be noted that the width of the spaces along the northern and southern boundaries of 55 Hutt Street would be marginally greater than the minimum 2.4m wide spaces typically provided for all-day commuter parking.

Vehicular access into the subject car parking area will be provided via the existing access point associated with the at-grade car parking area to the immediate west of the subject land. As previously identified, this car park is operated by the Wakefield Hospital as a staff car park.

Parking fees will be collected by use of pay and display equipment with a ticket machine provided within the car park to manage the length of stay by visitors and patients of the hospital.

TRAFFIC ASSESSMENT

The subject site (temporary car park) will not be a 'traffic generating development', in that the site will be used for parking by surrounding land users and not by users of the subject land. In any event, the impact of traffic accessing the site has been considered.

From traffic data previously identified at a similar car parking area within the City of Adelaide, I calculate that the provision of a 40-space car park on the subject land would generate of the order of:

- 25 trip movements in the am peak hour period, consisting primarily of entry movements; and
- 21 trip movements in the pm peak hour period consisting primarily of exit movements.

By way of comparison, the approved mixed-use development with a total of 72 spaces was estimated to generate of the order of:

- 21 vehicle trips in the am peak hour period; and
- 20 vehicle trips in the pm peak hour period.

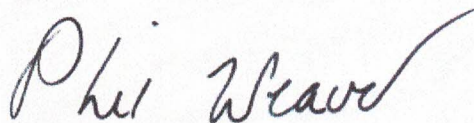
Hence, the proposed use of the subject land for the purpose of a temporary car park would result in similar levels of peak hour traffic volumes compared to that associated with the most recently approved development on the subject site.

SUMMARY

There would be negligible traffic impacts on the adjoining road network on the basis of the low volumes of traffic generated by the proposed temporary use of the site as a car parking area with a maximum capacity of 40 spaces and the opportunity for such traffic to enter / exit the car parking area via Ifould Street, both to and from the east and west.

Significantly, the peak hour traffic generation associated with the proposed use of the subject land as a temporary car park would generate a similar level of traffic to the most recently approved development.

Yours sincerely



Phil Weaver
Phil Weaver and Associates Pty Ltd



Wakefield Hospital

Hospitality
Healing
Stewardship
Respect

15 February 2019

City of Adelaide
GPO Box 2252
Adelaide SA 5001

To: The Manager Planning and Development

Re: 51-57 Hutt Street and 2-12 Ifould Street, Adelaide

As the General Manager of the Calvary Wakefield Hospital, I am writing to clarify our doctors, staff, patients, visitors and contractors would make use of the proposed ancillary car park at 51-57 Hutt Street and 2-12 Ifould Street, Adelaide. The hospital presently has a permanent car park for 29 doctor vehicles that is fully utilised located abutting the western side of the subject land at 14-20 Ifould Street and another permanent car park for 112 staff and visitor vehicles at 237 Wakefield St, also fully utilised.

I am informed Proton Developments (SA) Pty Ltd the owners of the subject land have lodged a development application, with Council DA 998/2018, to use the vacant land as an ancillary car park for a temporary two year period. The proposed car park has free and unrestricted right(s) of way over the existing hospital car park. It is proposed both car parks would use the same crossover access off Ifould Street. I am assured the proposed car park will be properly graded, line marked and safe for use by our staff and the public.

The new Calvary Adelaide Hospital will be completed and the old hospital on Wakefield Street progressively decommissioned. The hospital's lease with the owners of the existing hospital ceases in July this year. During the next couple of years I imagine the car parking may be required by contractors and other staff so the additional car parking could be very useful.

The availability of on street car parking in the immediate vicinity is quite limited. Also the on street car parking spaces that do exist in the immediate area are mainly limited to 1 or 2 hours which is too restrictive for contractor and general staff use.

I therefore support the proposal to use the vacant land as an ancillary car park.

Yours sincerely

Kerrie Hayes
General Manager
Calvary Wakefield Hospital

300 Wakefield Street, Adelaide SA 5000 | P: 08 8405 3333 | www.calvarywakefield.org.au



REAL PROPERTY ACT, 1986



South Australia

The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5557 Folio 16

Parent Title(s) CT 4198/895

Creating Dealing(s) CONVERTED TITLE

Title Issued 20/07/1998 Edition 3 Edition Issued 25/06/2012

Estate Type

FEE SIMPLE

Registered Proprietor

PROTON DEVELOPMENTS (SA) PTY. LTD. (ACN: 106 445 185)
OF 68 WATTLE STREET FULLARTON SA 5063

Description of Land

ALLOTMENT 867 FILED PLAN 181709
IN THE AREA NAMED ADELAIDE
HUNDRED OF ADELAIDE

Easements

TOGETHER WITH FREE AND UNRESTRICTED RIGHT(S) OF WAY OVER THE LAND MARKED A

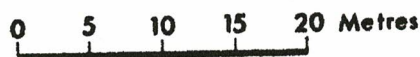
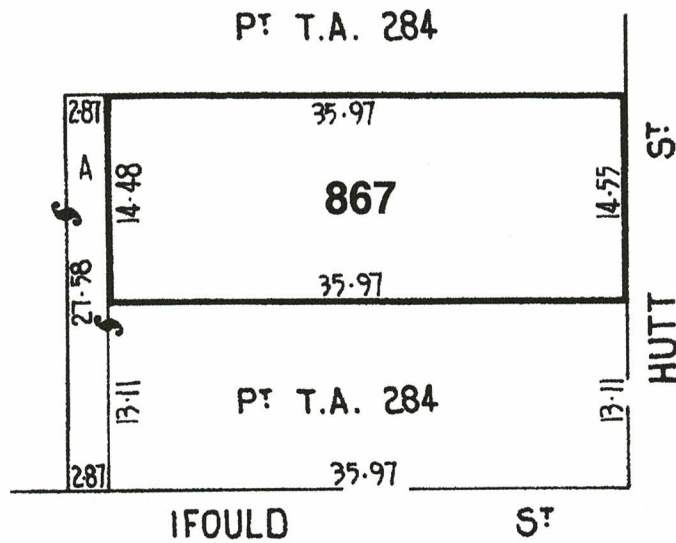
Schedule of Dealings

Dealing Number	Description
11767529	MORTGAGE TO WESTPAC BANKING CORPORATION

Notations

Dealings Affecting Title	NIL
Priority Notices	NIL
Notations on Plan	NIL
Registrar-General's Notes	NIL
Administrative Interests	NIL

THIS PLAN IS SCANNED FOR CERTIFICATE OF TITLE 4198/895
 SEE TITLE TEXT FOR EASEMENT DETAILS



NOTE: SUBJECT TO ALL LAWFULLY EXISTING PLANS OF DIVISION

CITY OF ADELAIDE COUNCIL ASSESSMENT PANEL ON 4/3/2019

Item No: 5.1

From: Associate Director, Planning & Development

Subject: List of Recent Lodgment's for Planning Consent (2017/02505) [CAP]

PURPOSE

To provide Panel Members with a list of development applications lodged for planning consent for the period 1 February 2019 to 21 February 2019.

A total of 45 development applications with a total value of \$4,316,201 have been lodged for planning consent for this period.

ATTACHMENTS

Lodged Applications for Planning Consent 1 - 5

RECOMMENDATION

That the report be received.

Item No. 5.1 – Attachments 1 - 5 (List of Recent Lodgements for Planning Consent) Pages 161 to 165

DEVELOPMENT PLANNING - Council Assessment Panel Report

Lodged Applications for Planning Consent from 1/02/2019 to 21/02/2019

Item No. 5.1 - Attachment 1

Application Assessed on Merit

#	APPLICATION	ADDRESS	DESCRIPTION	LODGED	COST	NOTIFY CATEGORY
*1	DA/101/2019	89 Tynte Street NORTH ADELAIDE SA 5006	Installation of louvred verandah	13/02/2019	\$11,500	Category 1
2	DA/102/2019	ELECTRA HOUSE 131-137 King William Street ADELAIDE SA 5000	Internal fitout - convert existing gaming room in to lounge	15/02/2019	\$95,000	Category 1
3	DA/105/2019	HOLIDAY INN EXPRESS ADELAIDE CITY 30 Blyth Street ADELAIDE SA 5000	Addition of one lightbox sign to facade	18/02/2019	\$10,000	Category 1
4	DA/106/2019	BONYTHON PARK Port Road ADELAIDE SA 5000	Use site for circus and erect big top marquee	18/02/2019	TBA	Category 1
5	DA/107/2019	North Adelaide Baptist Church 152-156 Tynte Street NORTH ADELAIDE SA 5006	Internal and external conservation works and structural repair works to roof	19/02/2019	\$350,000	Category 1
6	DA/108/2019	BOHM TERRACE 64 Archer Street NORTH ADELAIDE SA 5006	Upgrade of existing external façade	19/02/2019	\$50,000	Category 1
7	DA/110/2019	125-127 Pirie Street ADELAIDE SA 5000	Change of use of level 1 to office	20/02/2019	\$5,000	Category 1
8	DA/112/2019	Ground Shop 2 16 Hindley Street, ADELAIDE SA 5000	Tenancy fitout and new external signage	21/02/2019	\$350,000	Category 1
9	DA/114/2019	Adel Comets Football Club Ellis Park - B0053 West Terrace ADELAIDE SA 5000	Install signage to building	21/02/2019	\$3,500	Category 1
10	DA/14/2018/A	Rundle Park / Kadlitpina (Park 13) Rundle Road	Vary previous authorisation use as temporary arts and entertainment precinct as part of Adelaide Fringe (5 years) - VARIATION - swapping placement of two	1/02/2019	TBA	Category 1

DEVELOPMENT PLANNING - Council Assessment Panel Report

Lodged Applications for Planning Consent from 1/02/2019 to 21/02/2019

Item No. 5.1 - Attachment 2

		ADELAIDE SA 5000	venues (Vagabond and Umbrella Revolution) and the addition of The House of Mirrors.			
11	DA/598/2018/B	University of Adelaide - Union House (K/A 4F) Level 2 Victoria Drive ADELAIDE SA 5000	Vary previous authorisation external paving & landscaping, modification of existing openings, new sprung floor and internal fit out - VARIATION - new steel support beam	7/02/2019	TBA	Category 1
*12	DA/64/2019	Taj Tandoor 290 Rundle Street ADELAIDE SA 5000	Use adjacent laneway for the period of 15 Feb 2019 - 17 Mar 2019 from 5.00pm-11.30pm every day.	1/02/2019	TBA	Category 1
13	DA/65/2019	110 Mills Terrace NORTH ADELAIDE SA 5006	Two storey addition to side of dwelling - lift and bay window addition	1/02/2019	\$50,000	Category 1
14	DA/67/2019	The Quality Training Co 451-453 Pulteney Street ADELAIDE SA 5000	Install cantilevered lightbox to front facade	1/02/2019	\$2,000	Category 1
15	DA/69/2019	Town Hall 128-138 King William Street ADELAIDE SA 5000	Solar panel installation on tilt frames	4/02/2019	\$1	Category 1
16	DA/70/2019	Youth Hostel Association of SA 135 Waymouth Street ADELAIDE SA 5000	Install automatic door to front entry	5/02/2019	\$6,500	Category 1
17	DA/71/2019	15 Wilson Street ADELAIDE SA 5000	Demolish existing balcony and reconstruct	5/02/2019	\$6,485	Category 1
*18	DA/72/2019	60 Kingston Terrace NORTH ADELAIDE SA 5006	Removal of Elm Tree as required by emergency order - retrospective	4/02/2019	\$9,300	Category 1
19	DA/73/2019	Fusion Digital Level 2 199A Rundle Street ADELAIDE SA 5000	Install under canopy lightbox	5/02/2019	\$2,400	Category 1
20	DA/74/2019	Level 2 25 Gresham Street ADELAIDE SA 5000	Install signage to building facade	6/02/2019	\$1,000	Category 1
21	DA/75/2019	14 Barton Terrace E NORTH ADELAIDE SA 5006	Demolish portion of existing at the rear and construct dwelling addition, extend carport and deck	7/02/2019	\$150,000	To Be Determined

DEVELOPMENT PLANNING - Council Assessment Panel Report

Lodged Applications for Planning Consent from 1/02/2019 to 21/02/2019

Item No. 5.1 - Attachment 3

22	DA/78/2019	10/172 Wakefield Street ADELAIDE SA 5000	Install verandah to upper level courtyard	7/02/2019	\$2,000	Category 1
23	DA/79/2019	101 Gover Street NORTH ADELAIDE SA 5006	Re-roofing house	7/02/2019	\$10,900	Category 1
24	DA/80/2019	103 Gover Street NORTH ADELAIDE SA 5006	Re-roof house	7/02/2019	\$10,300	Category 1
25	DA/81/2019	107 Gover Street NORTH ADELAIDE SA 5006	Re-roof house	7/02/2019	\$11,950	Category 1
26	DA/82/2019	PULTENEY GRAMMAR SCHOOL 177-207 South Terrace ADELAIDE SA 5000	New entrance gates over Osmond Street	7/02/2019	\$50,000	Category 1
27	DA/83/2019	68 Mills Terrace NORTH ADELAIDE SA 5006	Repointing, damp course to northern and western external walls, painting and repair or replace existing awning	8/02/2019	\$60,000	Category 1
28	DA/84/2019	81-87 Grote Street ADELAIDE SA 5000	Repairs to fire damaged building and infill canopies along western elevation	8/02/2019	\$1,700,000	Category 1
29	DA/87/2019	Level 7 25-27 Franklin Street ADELAIDE SA 5000	Change of use of part of level 7 to educational use with fitout	10/02/2019	\$40,000	Category 1
*30	DA/88/2019	Jive 183 Hindley Street ADELAIDE SA 5000	Temporary extension of trading hours on Monday 25th Feb 2am to 5am, Monday 4th March 2am to 5am and Tuesday 12th March 2am to 5am	10/02/2019	TBA	Category 1
31	DA/89/2019	NYROCA HOUSE 10-20 New Street NORTH ADELAIDE SA 5006	Change of use of the upper level from office to dwelling	11/02/2019	TBA	Category 1
*32	DA/91/2019	144-150 Hindley Street ADELAIDE SA 5000	Change of use to educational training use on ground and first floor	13/02/2019	TBA	Category 1
33	DA/915/2017/B	CITI CENTRE ARCADE 141-159 Rundle Mall ADELAIDE SA 5000	Vary previous authorisation demolition and reconstruction of external lower facades on three street frontages with new LED advertising display, signage, and pruning of regulated street tree - VARIATION -	14/02/2019	TBA	Category 1

DEVELOPMENT PLANNING - Council Assessment Panel Report

Lodged Applications for Planning Consent from 1/02/2019 to 21/02/2019

Item No. 5.1 - Attachment 4

			alteration to external door, signage panels, anchor tenant signage and LED lighting			
34	DA/93/2019	159-160 East Terrace ADELAIDE SA 5000	Change the use of existing building from consulting rooms to dwelling and construct a single storey rear extension and garage, inground swimming pool and use stable as self-contained ancillary accommodation.	13/02/2019	\$750,000	Category 1
35	DA/94/2019	M1 CENTRE 193-195 North Terrace ADELAIDE SA 5000	Construction of an LED screen on the northern facade of the existing building.	13/02/2019	\$200,000	Category 1
36	DA/95/2019	ST PATRICKS CATHOLIC CHURCH 258-264 Grote Street ADELAIDE SA 5000	Demolition of outbuilding	13/02/2019	\$3,000	Category 1
37	DA/96/2019	ADELAIDE CENTRAL PLAZA 92-106 Rundle Mall ADELAIDE SA 5000	Installation of two (2) advertising signs, including one (1) LED sign, to existing overpass link between car park and Adelaide Central Plaza	14/02/2019	\$250,000	Category 1
38	DA/97/2019	Emma Hack Gallery Ground 54-56 Sturt Street ADELAIDE SA 5000	Change of use to restaurant, internal fit-out and signage	14/02/2019	\$65,000	Category 1
39	DA/98/2019	25 Mansfield Street NORTH ADELAIDE SA 5006	Installation of flat roof vergola	14/02/2019	\$10,365	To Be Determined
40	DA/99/2019	ELDER PARK King William Road ADELAIDE SA 5000	Conservation works to memorial	14/02/2019	\$50,000	Category 1
Land Division						
#	APPLICATION	ADDRESS	DESCRIPTION	LODGED	COST	NOTIFY CATEGORY
41	LD/3/2019	153-157 Grote Street ADELAIDE SA 5000	Community Division - 1 allotment into 2	4/02/2019	Not Applicable	Category 1
42	LD/4/2019	254-260 Flinders Street ADELAIDE SA 5000	Land Division - Boundary re-alignment	7/02/2019	Not Applicable	Category 1
43	LD/6/2019	ONE FLINDERS 246-252 Flinders Street	Land Division - Community Strata Plan - Primary Plan	15/02/2019	Not Applicable	Category 1

DEVELOPMENT PLANNING - Council Assessment Panel Report

Lodged Applications for Planning Consent from 1/02/2019 to 21/02/2019

Item No. 5.1 - Attachment 5

		ADELAIDE SA 5000				
44	LD/7/2019	ONE FLINDERS 246-252 Flinders Street ADELAIDE SA 5000	Land Division - Community Strata Plan - Secondary Plan - Commercial Lots	15/02/2019	Not Applicable	Category 1
45	LD/8/2019	ONE FLINDERS 246-252 Flinders Street ADELAIDE SA 5000	Land Division - Community Strata Plan - Secondary Plan - Residential Apartments	15/02/2019	Not Applicable	Category 1

Please Note: Category 1 (No Notification Required)

Category 2 (Adjacent Owners and Occupiers Notified Only)

Category 3 (As for Category 2, Plus Other Owners and Occupiers Directly Affected to a Significant Degree)

*** Approved**